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TOWN OF GREAT BARRINGTON MASSACHUSETTS

OFFICE OF THE TOWN MANAGER

Selectboard Meeting via Zoom and in person at 334 Main Street Great Barrington MA
Order of Agenda for Monday, September 18, 2023, at 6:00 PM

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/84727797185?pwd=NDFRUjFITE12eDN3bE5LaTNBQ0RmZz09>

Webinar ID: 84727797185

Dial-in, audio-only: (929) 205 6099

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §18, and Governor Healey's March 29, 2023 Revised Order extending remote participation by all members in any meeting of a public body, this meeting of the Selectboard will be conducted both in-person and via remote participation to the greatest extent possible. Specific information and the general guidelines for remote participation by members of the public and/or parties with a right and/or requirement to attend this meeting can be found on town's website, at www.townofgb.org. For this meeting, members of the public and committee members may attend the meeting in person, or, for those who wish to do so remotely may by following the instructions at the top of this agenda. For those who are not in-person every effort will be made to ensure that the public can adequately access the proceedings in real time, via technological means.

1. CALL TO ORDER SELECTBOARD REGULAR MEETING
2. SELECTBOARD'S ANNOUNCEMENTS/STATEMENTS
3. TOWN MANAGER'S REPORT
 - a. Housatonic Water Works
4. LICENSES AND PERMITS
5. PUBLIC HEARINGS

Special Permit: application from WDM Properties, c/o David Carver, 37 Main Street, Suite 202, North Adams, MA 01247, for an 8-unit multiunit residential redevelopment in the former Housatonic School at 207 Pleasant Street, Housatonic, MA 01236. Application is filed in accordance with Sections 3.1.4 A(3), 8.3, 9.9, 10.4 and 10.5 of the Zoning Bylaw.

Note: this matter may involve an issue relating to the state conflict of interest law and the so-called Rule of Necessity, which allows for members of a public body who may have a conflict to participate in a particular matter in order for the body to have a sufficient number of members to take the action required.

- i. Open Public Hearing
- ii. Explanation of the Project
- iii. Public comments, speak in favor or opposition
- iv. Questions from the Selectboard
- v. Comments from other Boards
- vi. Close Public Hearing
- vii. Selectboard discussion
- viii. Findings
- ix. Motion to continue/deny/grant

6. PREVIOUS BUSINESS

- a. Real Estate Transfer Fee- Proposal from Selectboard and Planning Board Housing Sub-Committee

7. NEW BUSINESS

- a. Title VI Nondiscrimination Policy: Review, public comment, and adoption of Title VI Nondiscrimination Policy for federally funded transportation related programs
- b. Lake Mansfield Task Force Presentation and Update
- c. Massachusetts Lottery Commission- KENO Monitor Notification for Lipton Mart #606, 246 Stockbridge Road
- d. Vote to appoint Community Preservation Committee Alternate Selectboard member recommendation & appointment
- e. Vote to approve 7-Minutes of Silence Proclamation
- f. Vote to authorize the Selectboard Chair and Town Manager to draft a statement on behalf of the board in advance of the September 26th Dept. of Public Utilities HWW rate case public hearing.

8. CITIZEN SPEAK TIME

Citizen Speak Time is an opportunity for the Selectboard to listen to residents. Topics of particular concern or importance may be placed on a future agenda for discussion. This time is reserved for town residents only unless otherwise permitted by the chair, and speakers are limited to 3 minutes each.

9. SELECTBOARD'S TIME

10. MEDIA TIME

11. ADJOURNMENT

NEXT SELECTBOARD MEETING

October 2, 2023

October 23, 2023

November 6, 2023

November 20, 2023

December 4, 2023

December 18, 2023



Mark Pruhenski, Town Manager

Pursuant to MGL. 7c. 30A sec. 20 (f), after notifying the chair of the public body, any person may make a video or audio recording of an open session of a meeting of a public body, or may transmit the meeting through any medium. At the beginning of the meeting, the chair shall inform other attendees of any such recordings. Any member of the public wishing to speak at the meeting must receive permission of the chair. The listings of agenda items are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may be brought up for discussion to the extent permitted by law

STEPHEN BANNON
CHAIR

LEIGH S. DAVIS
GARFIELD C. REED
ERIC GABRIEL
BENJAMIN ELLIOTT



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TOWN OF GREAT BARRINGTON MASSACHUSETTS

SELECTBOARD

SPECIAL PERMIT # 938-23

NAME, ADDRESS, AND PROJECT: Special Permit and Site Plan Review application from WDM Properties, c/o David Carver, 37 Main Street, Suite 202, North Adams, MA 01247, for an 8-unit multiunit residential redevelopment in the former Housatonic School at 207 Pleasant Street, Housatonic, MA 01236. Application is filed in accordance with Sections 3.1.4 A(3), 8.3, 9.9, 10.4 and 10.5 of the Zoning Bylaw.

REVIEW MEETINGS

These Boards and Commissions will hold meetings on the following dates to consider your application and make a recommendation to the Selectboard (dates or times may be subject to change):

CONSERVATION COMMISSION * Wednesday, August 23, 2023, 6:30 PM

** Call the Conservation Agent in advance of the meeting to see if you should attend.*

PLANNING BOARD Thursday, August 24, 2023, 6:00 PM

Applicant must attend in person or via zoom

BOARD OF HEALTH ** Thursday, September 7, 2023, 6:30 PM

*** Call the Health Agent in advance of the meeting to see if you should attend.*

SPECIAL PERMIT PUBLIC HEARING

The PUBLIC HEARING before the SELECTBOARD will be Monday, September 18, 2023, at 6:00 PM.

Applicant must attend in person or via zoom

Special Permit & Site Plan Review Application

Proposed Multifamily Housing Redevelopment & Related Site Work

Property Location:

*Housatonic School
Pleasant Street North
Map 1, Lot 165A
Housatonic, MA 01230*

Property Owners:

*Town of Great Barrington
334 Main Street
Great Barrington, MA 01230*

Applicant:

*WDM Properties, LLC
37 Main Street, Suite 202
North Adams, MA 01247*

Civil Engineer:

*Foresight Land Services, Inc.
1496 West Housatonic Street
Pittsfield, MA 01201*

Architect:

*Robert E Harrison, AIA, LEED AP, Architect, Principal
Bradley Architects, Inc.
8 Bank Row
Pittsfield, MA 01201*

August 2023



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3. Figures:
 - Exhibit A-1 USGS Locus Map
 - Exhibit A-2 USDA Web Soil Survey Map
 - Exhibit A-3 Priority & Estimated Habitats Map
 - Exhibit A-4 National Flood Insurance Program Map
 - Exhibit A-5 Great Barrington Assessor's Map
 - Exhibit A-6 Great Barrington Zoning Map
4. Property Record Card
5. 300 Ft Abutters List
6. Plans:
 - Site Plans – Foresight Land Services, Inc. – dated August 8, 2023
 - C-0 Cover Sheet, Notes, Legend & Index
 - C-1 Existing Conditions and Demolition Plan
 - C-2 Proposed Site & Landscape Plan
 - C-3 Proposed Utility, Grading, Drainage, & ECB Plan
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 - R1.0 Basement Floor Demo Plan
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TOWN OF GREAT BARRINGTON
Application for a Special Permit
to the Board of Selectmen or Planning Board

FORM SP-1
REV. 12-2020

FOR OFFICE USE ONLY

Number Assigned _____ Date Received _____
Special Permit Granting Authority _____
Copy to Recommending Boards _____
Advertised _____ & _____
Public Hearing _____
Fee: \$300.00 Paid: _____

APPLICATION FOR SPECIAL
PERMIT UNDER TOWN ZONING
BYLAWS FOR TOWN OF
GREAT BARRINGTON,
MASSACHUSETTS

MAP 1 LOT 165A BOOK _____ PAGE _____ ZONING DISTRICT(s) R3 & HVC

Site Address: Pleasant Street North, Housatonic

Date of Application _____

Applicant's name and complete mailing address WDM Properties, LLC, C/O David Carver

37 Main Street, North Adams, MA 01247

Applicant's phone number (413) 884-4539 Applicant's email address: dcarver@scarafoniassociates.com

Name and Address of Owner of land exactly as it appears on most recent tax bill:

Town of Great Barrington, 334 Main Street, Great Barrington, MA 01230

I (we) request a Special Permit for: Proposed construction of an 8 unit multifamily housing redevelopment
and related site work

Under Section(s) 8.3 and 10.4 of the Great Barrington Zoning Bylaws.

APPLICANTS MUST READ AND COMPLY WITH THE FOLLOWING:

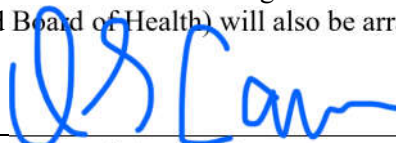
One Signed Original application with each of the items below, as applicable, fourteen (14) exact copies of the entire package, and one electronic PDF, are to be submitted. Applications must include:

1. Completed application form, including signatures.
2. Brief written description of how the project is in harmony with the Great Barrington Master Plan. (Copies of the Master Plan are available for free download from the Town website. Hard copies can be read at the Clerk's office or the Town libraries.)
3. Site Plan, drawn to scale, applicable to the site and the proposed use of said site for which this special permit is requested.
4. Any other specifications necessary to further describe the site or proposed use for which a special permit is requested. At least one copy of any maps being submitted shall be no larger than 11" X 17". Plans should show all existing and proposed structures, property lines and dimensions, driveways, walkways and parking areas. All proposed landscaping, parking, loading, and similar improvements must be in compliance with the applicable sections of the Zoning Bylaw.
5. Certified list of abutters within 300 feet on the Assessors Maps to the subject property, including map and lot number. List must be obtained from the Assessors' Office.

- 6. Zoning Map designating the zoning district(s) and location for the area for which a special permit is requested, plus a USGS map enlarged and showing the site location within the Town.
- 7. Drainage Plan indicating the destination of all runoff from the property. In the event of substantial increase in impervious surfaces, the SPGA may require calculations or expert analysis of the plan.
- 8. Landscaping Plan drawn to scale and showing existing and proposed landscaping.
- 9. If applicant and owner are different, a letter signed by the owner of the property authorizing the applicant to apply for the special permit.

SPECIFICS:

- 1. All site plans and specifications must be signed and dated by the preparer.
- 2. **ALL OWNERS** of property must also sign the application.
- 3. A copy of special permit procedures is available upon request.
- 4. Fee for application is \$300.00 to cover the cost of the public hearing notices in the newspaper and notification to parties in interest.
- 5. Once all the necessary papers, maps, etc. are compiled into the required Original and Fourteen sets, call the Town Planner's office at 413-528-1619 ext. 7 to arrange an appointment to file your application. The application will be reviewed for completeness and a date for a public hearing before the Board of Selectmen or Planning Board will be scheduled. Meetings of recommending boards (e.g. Planning Board, Conservation Commission and Board of Health) will also be arranged at this time.



 Signature of Applicant

 Signature of Co-Applicant (e.g. Property Owner, if different)

PLEASE READ AND SIGN BELOW

ALL COSTS INCURRED BY THE TOWN FOR THE EMPLOYMENT OF EXPERTS OR CONSULTANTS REQUIRED BY ANY TOWN BOARD, AND APPROVED BY THE BOARD OF SELECTMEN, FOR THE PURPOSE OF ANALYZING OR EVALUATING ANY PROJECT THAT IS A SUBJECT OF A SPECIAL PERMIT APPLICATION SHALL BE ASSESSED TO THE APPLICANT AND SHALL CONSTITUTE PART OF THE APPLICATION FEE. A COPY OF THIS REGULATION SHALL BE PROVIDED TO THE APPLICANT IF REQUESTED.

I have read the above regulation and agree to be bound by it.

Signature _____

Signature of Co-Applicant (e.g. Property Owner) _____

Date _____

GREAT BARRINGTON SPECIAL PERMIT & SITE PLAN REVIEW APPLICATION

PROJECT NARRATIVE

Proposed Multifamily Housing Redevelopment & Related Site Work
Map 1, Lot 165A, Pleasant Street North, Housatonic, MA

GENERAL

The applicant, WDM Properties, LLC, C/O David Carver, is requesting a Special Permit from the Great Barrington Select Board to redevelop the Housatonic School building into a multifamily housing complex at Map 1, Lot 165A, Pleasant Street North, in Housatonic.

EXISTING SITE CONDITIONS

The property is within the Housatonic Village Center (HVC) Zoning District. Lot requirements per the Great Barrington Zoning Bylaw are as follows:

	HVC Required	Existing/Proposed
Minimum Lot Area	5,000 sq. ft.	28,621.6 sq. ft.±
Width	50'	160.1'±
Minimum Front Yard	5'	10'±
Minimum Side Yard	5'	30.2'±
Minimum Rear Yard	10'	74.5'±
Maximum Lot Coverage by Buildings	75%	26.8%±
Stories	2½	2½ (no change from existing)
Height	35'	41.3'± (no change from existing)

Property Overview

The Applicant's existing lot consists of approximately 28,621.6 square feet (0.65± acres) of land. The property has an existing building (Housatonic School) with associated water, sewer, private utilities, driveway/parking area, etc. The existing property is pre-existing nonconforming with respect to building height. Land is accessed off of Pleasant Street and fronts on Pleasant Street.

According to FEMA Flood Panel 250024 0002 B dated July 19, 1982, no portion of the property is located within the 100-year floodplain.

No portion of the site is within any Natural Heritage & Endangered Species Program area of Estimated or Priority Habitat and no Potential or Certified Vernal Pools are found on the property.

There are no areas of Bordering Vegetated Wetland (BVW) located within the project boundary. No work is proposed within 100 feet of any delineated wetlands.

PROPOSED PROJECT SCOPE

The project proposes to redevelop the former Housatonic School building into a multifamily housing complex with associated parking and infrastructure. The proposed project will consist of the following:

- * 1 building consisting of 8 two-bedroom apartments
 - o Total of 16 bedrooms
- * Driveway, parking area, utilities and related infrastructure (upgraded/new)

ZONING REQUIREMENTS

The primary applicable zoning regulations include, but are not limited to:

- Section 3.1.4 (Use Regulations)
- Section 8.3 Multifamily Dwellings
- Section 9.9 Housatonic Village Center (HVC)
- Section 10.4 Special Permits
- Section 10.5 Site Plan Review

In the attached Summary of Conformity, Foresight has provided a review of each point included within the applicable sections of the Great Barrington Zoning Bylaws.

MUNICIPAL IMPACTS

Site information is provided by topic below.

Access

Currently there are two entrances (on either side of the building). The entrance to the east will be abandoned and the property will be accessed using the westerly curb cut only. The westerly curb cut is shared by the Housy Dome currently and will continue the shared use in the future.

Parking

Section 9.9 of the Great Barrington Zoning Bylaw establishes the off-street parking requirements: 1 space for each dwelling unit. The required number of parking spaces is calculated as follows:

Required Parking:

- Dwelling units: 1 parking space per unit x 8 units = 8 spaces

TOTAL REQUIRED PARKING: 8 spaces

Proposed Parking:

TOTAL PROVIDED PARKING: 15 spaces (including HCP spaces)

Proposed parking will be repaved, reconfigured, and restriped as per the attached plan. Parking will be reserved for the apartments and applicable signage will be placed on the building indicating “parking reserved for Housatonic School (insert development name here) residents only.

Utilities

Electric/Telephone/Cable

New electric, telephone and cable TV wiring will be installed underground in accordance with the Site Plan Standards of the Town. Electric transformer and service pedestals will be above ground, located to the rear of the building. New services are proposed to be run underground from a utility pole located to the north east (on Meadow Street). New utilities will cross the existing park property with proposed easement from the Town.

Water/Sewer

The facility is served by municipal water and sewer. The following is a comparison of the previous use vs the proposed water/sewer usage at the project:

Use	Maximum Flow (Gal/Day)
Pre-Existing Usage (180 students*)	1,800 GPD
Proposed Usage (residential**)	1,760 GPD
Increase(Decrease) in Flow:	(40) GPD +/-

* Per Mass Title 5 School generates 10 gpd/student (12 classrooms @~15 students/classroom)

** Per Mass Title 5 residential uses generate 110 gpd/bedroom (16 bedrooms)

New water and sewer services are proposed for the project.

Stormwater Management

The project will reduce stormwater runoff as a result of the sitework. Project will remove existing curb cut and driveway to the east of the building, remove and replace asphalt to the front and rear of the building and maintain the same asphalt footprint to the west. The asphalt to be removed will be replaced with grass and landscaping. This reduction of the asphalt and replacement with landscaping/grass will reduce stormwater runoff, improve stormwater quality and improve stormwater infiltration from the site.

Site Lighting & Signage

Lighting infrastructure will be downward directional / shielded to prevent overflow at the property lines. Proposed lighting will conform to the new Town lighting standards.

Solid Waste Disposal

Solid waste will be disposed of by a private commercial hauler. The existing dumpster location is proposed to be reconstructed and shared with the Housy Dome as shown on the attached plans.

Traffic Impacts

Use	Trips/Hour	VPD
<i>Pre-Existing (Use Code 520/school 180 students)</i>	<i>54 (0.3 Trips per Student*)</i>	<i>183.6 (1.02 Trips per Student**)</i>
<i>Proposed (Use Code 220/8 Apartments)</i>	<i>5.4 (0.67 Trips per Dwelling Unit***)</i>	<i>53 (6.63 Trips per Dwelling Unit****)</i>
<i>Increase(Decrease) in Traffic:</i>	<i>(48.6)</i>	<i>(130.6)</i>

*Weekday Peak Hour (AM) Per Institute of Transportation Engineers (ITE) Common Trip Generation Manual, 10th Ed

**Weekday Trip Generation Per Institute of Transportation Engineers (ITE) Common Trip Generation Manual, 10th Ed

***Weekday Peak Hour (PM) Per Institute of Transportation Engineers (ITE) Common Trip Generation Manual, 10th Ed

****Weekday Trip Generation Per Institute of Transportation Engineers (ITE) Common Trip Generation Manual, 10th Ed

Wetlands Protection Act

No alteration to wetlands is proposed as a result of the proposed project.

Special Permit Criteria

1. *Social, economic, or community needs which are served by the proposal;*

Adaptive reuse of the Housatonic School is a specific goal in the Town’s Master plan (Pg. 1 “Why Plan Now”). Also, introduction of a variety of housing options specifically noted in the Town’s Master plan is a desired goal (Pg. 39 Housing). The adaptive reuse of the existing Housatonic School building into 8 new market rate apartments is a good use of the facility from a planning point of view and also adds to the Town’s housing stock.

2. *Traffic flow and safety, including parking and loading;*

The proposed project will have significantly less traffic than the previous use (school). The elimination of the easterly curb cut will additionally minimize conflict points and improve safety. Parking and loading is being provided in excess of the zoning bylaw requirements.

3. *Adequacy of utilities and other public services;*

The facility is served by municipal water and sewer. New water and sewer services are proposed to replace old and aging connections.

4. *Neighborhood character and social structures;*

The proposed reuse of the Housatonic School will not change the character of the neighborhood. There are residential homes to the south, north and west of the property and the architecture and aesthetic of the existing structure will remain/be restored and improved.

5. *Impacts on the natural environment; and*

Elimination of pavement and installation of new shrubs, groundcover and grass will improve the natural environment (improved stormwater quality, improved infiltration capacity of the site, and reduction of stormwater runoff).

6. *Potential fiscal impact, including impact on town services, tax base, and employment.*

The project will be taking a derelict and abandoned building which has no tax benefit and convert it into taxable real estate. The project will generate positive tax revenue and potentially provide housing for the local workforce.

**SUMMARY OF CONFORMITY WITH
 APPLICABLE ZONING BYLAW REQUIREMENTS
 MAP 1, LOT 165A PLEASANT STREET NORTH, HOUSATONIC, MA**

The following is a summary of the applicable Great Barrington Zoning Bylaw requirements and the proposed conformance under this Special Permit.

8.3 Multifamily Dwellings			
Section	Description	Requirement	Proposed/Comment/Waiver Request
8.3.1	General	Multifamily uses may be permitted by-right or by special permit as set forth in the Table of Use Regulations. All multi-family uses shall require site plan approval in accordance with Section 10.5.	Acknowledged
8.3.2	Definition	For the purposes of this section, the placing of more than two dwelling units on a single lot, under any circumstances, shall be considered a multifamily use.	Acknowledged
8.3.3	Requirements	Multifamily dwellings shall comply with all the following special requirements and procedures, as applicable, which shall be made conditions of the special permit. The Special Permit Granting Authority (SPGA) may waive any or all of these requirements for multifamily dwellings in existence as of May 9, 2016, after making a specific finding of why the requirement should not apply, and shall note any waivers in the Special Permit decision.	Acknowledged
		1. In a multifamily development, more than one principal building may be permitted on a lot, provided that there shall be at least 2,500 square feet of lot area for each dwelling unit. The SPGA may, by special permit, allow the lot area per unit to be less than 2,500 square feet per unit.	Requirement Met
		2. Permeable open space on the lot, including lawn and/or garden area but exclusive of structures, driveways, walkways and parking spaces, shall be no less than 50%	Existing permeable open space is less than 50%. Proposed permeable open space will be increased, but still slightly less than 50%.

8.3 Multifamily Dwellings			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		<p>of the total area of the property.</p> <p>3. One and one-half (1.5) off-street parking spaces shall be provided for each dwelling unit. No space shall be considered available for parking if such space reduces the effective width of a driveway providing access to more than one dwelling unit to less than 12 feet.</p> <p>In the event that the required parking spaces cannot be provided on the property, deviation from this requirement may be permitted in accordance with Section 6.1.9.</p>	See Section 8.3.6
8.3.4	Procedures	<p>When filing a special permit application, if required, the applicant shall submit to the SPGA at least six copies of a site plan showing, in addition to all characteristics specified in Section 10.5, the general plan and elevations of the buildings, as well as provisions for proposed parking spaces, interior roadways, walkways, drainage and recreational facilities.</p>	Acknowledged
		<p>1. Such site plan, subject to such amendment thereof as may be required by the Planning Board under the provisions of this Bylaw shall be made a part of the building permit.</p>	Acknowledged
		<p>2. The SPGA shall notify the Inspector of Buildings of its approval of a special permit.</p>	Acknowledged
8.3.5	Occupancy Permit	<p>All repairs, renovations or construction specified by the applicant in his application shall be completed to the satisfaction of the Inspector of Buildings before an occupancy permit is issued.</p>	Acknowledged
8.3.6	Exemptions in Downtown B District, B2X, HVC, MXD District, and General Business B2	<p>The requirements of Section 8.3.3 shall not apply to any multifamily dwelling in a single existing building within the Downtown Business B District, B2X, HVC, or MXD District.</p>	Acknowledged

8.3 Multifamily Dwellings			
Section	Description	Requirement	Proposed/Comment/Waiver Request
	District		

9.9 Housatonic Village Center (HVC)			
Section	Description	Requirement	Proposed/Comment/Waiver Request
9.9.1	Purpose	The Housatonic Village Center (HVC) district is hereby established to encourage a mix of uses in, while preserving the density and pedestrian-oriented character of, the Housatonic Village Center, and to bring existing uses and structures into compliance with zoning requirements in order to facilitate a variety of business and housing opportunities.	Acknowledged
9.9.2	Location	The HVC shall consist of the land shown on the 2013 Town of Great Barrington Assessors' Map 1 as Parcels 88, 116A, 117A, 118A, 119-135, 162-165A, 189-194, 197, 198, 202- 204, 242, 243, 248, 252, 253, 253A, and 253B, and Assessors' Map 2 as Parcels 10, 18-20, and 53-60.	The parcel is Map 1, Lot 165A
9.9.3	Permitted Uses	Permitted uses in the HVC are set forth in Section 3.1.4, the Table of Use Regulations.	Acknowledged
9.9.4	Dimensional Requirements	Minimum setback and dimensional requirements shall be as set forth in Section 4.1.2, Schedule of Dimensional Requirements, except as follows:	
		1. Existing structures, or those for which valid building permits have been issued, as of May 4, 2015, with front, side, and rear setbacks that do not meet the requirements herein shall be permitted to maintain those setbacks.	Not Applicable
		2. Maximum front yard: New structures shall not be set back more than 10 feet or more than the average of the front yard setbacks of existing buildings on the abutting lots on either side,	Maintaining existing front yard setback

9.9 Housatonic Village Center (HVC)			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		whichever is less.	
		3. No new nonconformity may be created except as may be permitted in accordance with Section 5 of this Zoning Bylaw.	Acknowledged
9.9.5	Parking	The off-street parking requirements in Section 6.1 shall not apply in the HVC except as provided in this section. Off-street parking requirements in the HVC shall be as follows:	Acknowledged
		1. Only one space shall be required for any dwelling unit, whether in residential-only or in mixed-use buildings.	Exceeded
		2. For permitted uses in existing buildings that are not substantially expanded, the existing parking spaces shall be retained, but no new spaces shall be required. A substantial expansion is defined, for the purpose of this section, as one which involves increasing the size of the footprint of a structure by more than 25% or 500 square feet, whichever is less.	Acknowledged
		3. For permitted uses in new buildings or existing buildings that are substantially expanded, as defined in this section, or for any building greater than 5,000 square feet gross floor area, parking is required as follows: (a) one parking space shall be required for each dwelling unit; (b) the parking requirements for business or industrial uses in Section 6.1.2 through 6.1.6 shall be calculated as follows: the sum of the required parking for each use multiplied by 0.5 with the product rounded down to the nearest whole number, plus handicapped parking as may be required by law or building code (Example: 3 spaces required for retail, 4 spaces	Exceeded Not Applicable

9.9 Housatonic Village Center (HVC)			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		required for offices: $(3 + 4) \times 0.5 = 3.5$, so 3 spaces, + 1 handicapped space, = 4 spaces are required); and	
		4. The parking requirements of this section may be waived if the SPGA grants a special permit pursuant to section 6.1.9.	Requirement Exceeded

10.4 Special Permits			
Section	Description	Requirement	Proposed/Comment/Waiver Request
10.4.1	Special Permit Granting Authority	Unless specifically designated otherwise, the Selectboard shall act as the Special Permit Granting Authority.	
10.4.2	Criteria	Special permits shall be granted by the Special Permit Granting Authority, unless otherwise specified herein, only upon its written determination that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site. In addition to any specific factors that may be set forth in this Bylaw, the determination shall include consideration of each of the following:	
		1. Social, economic, or community needs which are served by the proposal;	See Project Narrative
		2. Traffic flow and safety, including parking and loading;	See Project Narrative
		3. Adequacy of utilities and other public services;	See Project Narrative
		4. Neighborhood character and social structures;	See Project Narrative
		5. Impacts on the natural environment; and	See Project Narrative
		6. Potential fiscal impact, including impact on town services, tax base, and employment.	See Project Narrative
10.4.3	Procedures	An application for a special permit shall be filed in accordance with	Acknowledged

10.4 Special Permits			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		<p>the rules and regulations of the Special Permit Granting Authority.</p> <p>1. The SPGA shall, within five business days (Saturdays, Sundays and legal holidays excluded) after acceptance of a special permit application, transmit copies of the application, along with all accompanying plans and maps, to the Board of Health, the Planning Board, the Selectmen and the Conservation Commission and to any other town departments, at the discretion of the SPGA. It shall be the responsibility of the applicant to provide sufficient copies for such transmittal.</p>	Acknowledged
		<p>2. The SPGA or its designated representative shall mark on the face of each copy the date of such transmittal and the boards and departments to which it was transmitted. The application shall be deemed received by all such boards and departments two business days after such transmittal (Saturdays, Sundays and legal holidays excluded). Any board or department to which such an application is transmitted for review shall make in writing such recommendations as it deems appropriate; provided, however, that failure to make recommendations within 35 calendar days of receipt by the board or department shall be deemed lack of opposition to the application.</p>	Acknowledged
		<p>3. Any town board or department may recommend and the SPGA may impose such additional requirements and restrictions for any use under 3.1.4, Table of Use Regulations, or for any other special permit required by this Bylaw, as in the judgment of the reviewing boards and departments</p>	Acknowledged

10.4 Special Permits			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		are necessary for the protection of public health, safety and welfare, the environment and neighboring uses.	
		4. It is recommended that projects requiring a special permit appear before the Design Advisory Committee prior to meeting with the SPGA.	Acknowledged
		Special permits may be granted with such reasonable conditions, safeguards, or limitations on time or use, including performance guarantees, as the Special Permit Granting Authority may deem necessary to serve the purposes of this Bylaw. Such conditions, safeguards or limitations may include, but are not limited to, the following:	
		1. Front, side and rear yards greater than the minimum required by this Bylaw.	Existing setbacks retained
		2. Screening buffers or planted strips and/or fences or walls as specified by the SPGA.	Proposed plantings
		3. Design and installation of lighting to minimize glare into the night sky and spill into adjacent properties.	Lighting meets Town requirements
		4. Limitations on the size, number of occupants, method and/ or time of operation, time duration of the permit and/or extent of facilities.	Not Applicable
		5. Requirements as to number and/or location of driveways and/or other traffic features, off-street parking and/or loading and/or other specific features beyond the minimums required by this Bylaw.	Reduction of one driveway and improving remaining driveway
		Any conditions, safeguards or limitations shall be imposed in writing and shall be made a part of the special and building permit.	Acknowledged
10.4.5	Plans	Unless otherwise provided the rule or regulation of the Special Permit Granting Authority, an applicant	Acknowledged

10.4 Special Permits			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		for a special permit shall submit a plan in substantial conformance with the requirements of Section 10.5.3, herein.	
10.4.6	Regulations	The Special Permit Granting Authority may adopt rules and regulations for the administration of this section.	Acknowledged
10.4.7	Fees	The Special Permit Granting Authority may adopt reasonable administrative fees and technical review fees for applications for special permits, which shall be filed in the office of the Town Clerk.	Acknowledged
10.4.8	Lapse	Special permits shall lapse if a substantial use thereof or construction thereunder has not begun, except for good cause, within 24 months following the filing of the special permit approval (plus such time required to pursue or await the determination of an appeal referred to in G.L. c. 40A, s. 17, from the grant thereof) with the Town Clerk.	Acknowledged

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
10.5.1	Applicability	The following types of activities and uses require site plan review by the Planning Board:	
		1. Construction, exterior alteration or exterior expansion of, or change of use within, a municipal, institutional, commercial, industrial, or multi-family structure;	Applicable
		2. Construction or expansion of a parking lot for a municipal, institutional, commercial, industrial, or multi-family structure or purpose involving more than 6 spaces;	Applicable

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		3. Grading or clearing more than ten percent (10%) of a lot or 10,000 square feet, whichever is the lesser, except for the following: landscaping on a lot with an existing structure or a proposed single or two family dwelling; clearing necessary for percolation and other site tests, work incidental to agricultural activity, work in conjunction with an approved subdivision plan, or work pursuant to an earth removal permit.	Not Applicable
		4. Any other instance required by this Bylaw.	Acknowledged
		5. It is recommended that projects requiring Planning Board site plan approval appear before the Design Advisory Committee prior to meeting with the Planning Board.	Acknowledged
10.5.2	Procedures	1. Use, Structure, or Activity Available As of Right. An application for a building permit to perform work as set forth herein available as of right shall be accompanied by an approved Site Plan. Prior to the commencement of any activity set forth herein available as of right, the project proponent shall obtain site plan approval from the Board. Applications shall be submitted as set forth in the Planning Board's rules and regulations. The Board shall review and act upon the site plan, with such conditions as may be deemed appropriate, within sixty (60) days of its receipt, and notify the applicant of its decision. The decision of the Board shall be upon a majority of the Board as constituted and shall be in writing. No building permit shall be issued by the Building Inspector without the written approval of the site plan by the Board, or unless 60 days lapse from the date of the submittal of the site plan without action by	Acknowledged

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		the Board.	
		2. An application for site plan approval shall be accompanied by a fee, as set forth in the Board's Rules and Regulations.	Acknowledged
		3. The applicant may request, and the Board may grant by majority vote, an extension of the time limits set forth herein.	Acknowledged
		4. No deviation from an approved site plan shall be permitted without modification thereof	Acknowledged
		When specific requirements are not provided elsewhere in this Bylaw, the following general submittal requirements apply unless waived by the Planning Board	Acknowledged
10.5.3	Submittal Requirements	<p>1. Plot plan of the entire tract, signed by a licensed surveyor or engineer, drawn to a scale adequate to represent all features of the property, clearly portraying the following:</p> <ul style="list-style-type: none"> a. Lot layout and dimensions. b. Access road locations and widths and all intersections and driveways located within 200 feet of any portion of the tract. c. Open space locations and dimensions. d. Location of major site features, such as existing stone walls, fences, large trees and rock outcroppings. e. All existing and proposed structures on the property. f. All existing and proposed driveways, walkways and parking areas. g. All bordering streets and/or highways; 	Requirements Met

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		<p>h. Contours of elevation at intervals of no more than two feet.</p> <p>i. All existing and proposed wells and septic systems.</p> <p>j. Existing and proposed drainage patterns and stormwater drainage calculations.</p> <p>k. All proposed stormwater management devices including but not limited to inlets, pipes, swales, and infiltration, retention and detention devices.</p> <p>l. Existing and proposed landscaping; limits of clearing; erosion and sediment control to be used during construction.</p> <p>m. Existing and proposed lighting, including heights, fixtures, and types of lighting.</p> <p>n. Other physical and topographical features of the property including but not limited to streams, ponds, floodplains and wetlands.</p> <p>o. An arrow indicating magnetic North.</p> <p>p. Two locus maps showing the location of the property. One shall be an enlarged section of a United States Geological Survey Map, and the other shall be a copy of the current Great Barrington Zoning Map, each indicating the location of the property by arrow or other suitable mark.</p>	
		<p>2. The application shall be signed by the owner or owners of the property in question or, if the applicant is other than the owner of</p>	Acknowledged

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		<p>the property, shall be signed by the applicant and shall be accompanied by a letter from the owner authorizing the applicant to apply for the building permit or special permit. Said application shall also be accompanied by all appropriate fees. For the purposes of this section, an "owner" shall be defined as a person, corporation, partnership or other legal entity having a legal or equitable interest in the property.</p>	
		<p>3. Traffic Impact Assessment. The purpose of a traffic impact assessment is to document existing traffic conditions (both vehicular and pedestrian) in the vicinity of the proposed project, to describe the volume and effect of projected traffic generated by the proposed project, and to identify measures proposed to mitigate any adverse impacts on traffic. The Planning Board may request a traffic study for any project. A traffic study may be required upon request for all projects with one or more of the following characteristics: Projects that propose 30 or more parking spaces pursuant to Section 6.1; or, Projects expected to generate 100 trip-ends or more per day; or Projects containing frontage and/or access on a numbered highway. The traffic impact assessment shall be performed by a certified traffic engineer in accordance with Massachusetts Executive Office of Energy and Environmental Affairs, Division of Transportation Guidelines for Traffic Impact Assessments and shall contain the following:</p> <p>a. Existing traffic conditions: average daily and peak hour volumes, average and peak speeds,</p>	<p>Waiver requested from strict compliance of this section. Traffic calculations have been provided using ITE trip generation and show a reduction of traffic from pre-existing uses.</p>

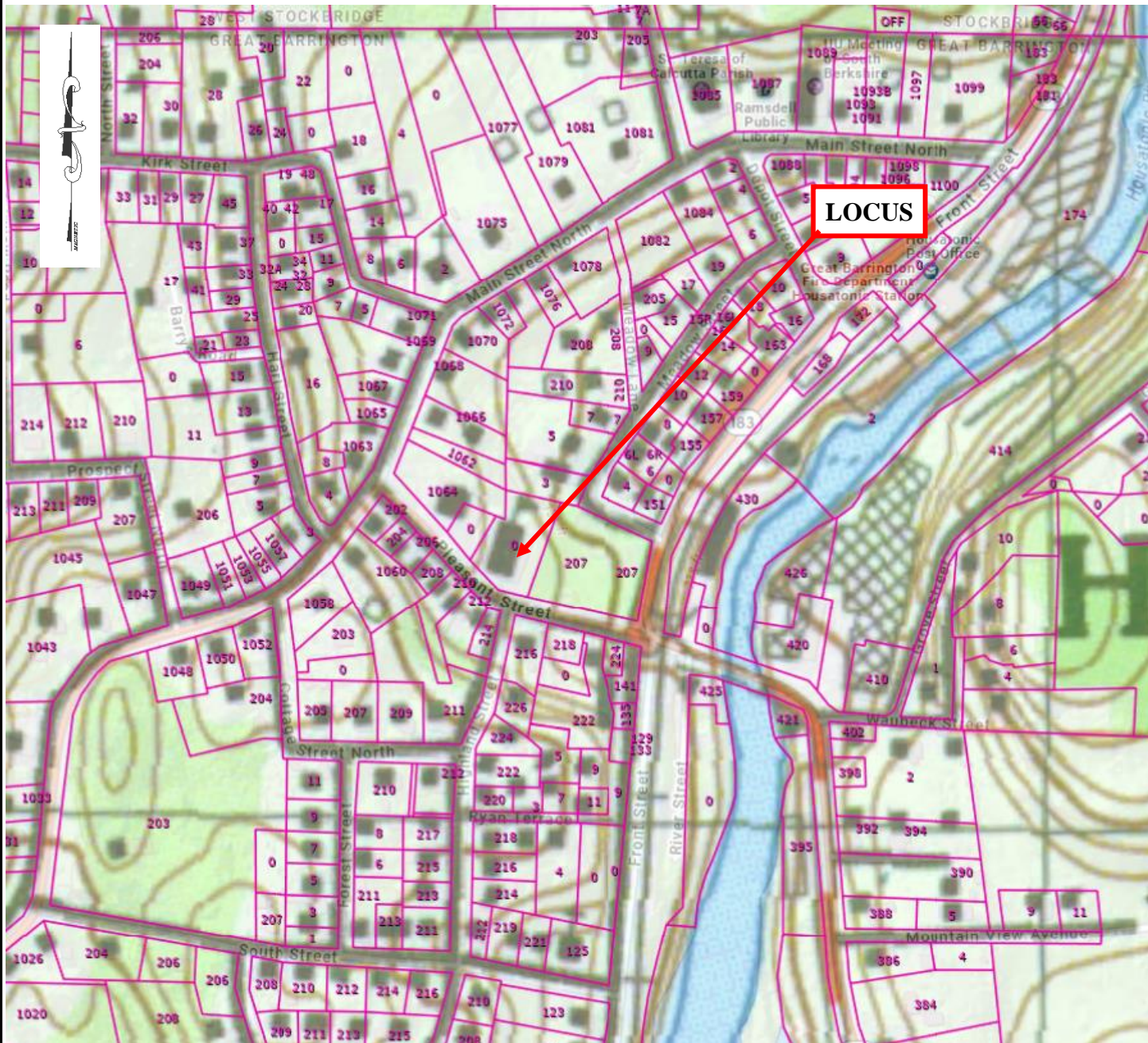
10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		<p>sight distances, accident data, and levels of service (LOS) of intersections and streets likely to be affected by the proposed development. Generally, such data shall be presented for all streets and intersections adjacent to or within 1,000 feet of the projected boundaries, and shall be no more than six months old at the date of application.</p> <p>b. Information regarding existing pedestrian and bicycle circulation and ways and existing transit service and facilities such as bus stops, pull-outs and shelters shall be provided.</p> <p>c. Projected traffic conditions for design year of occupancy: statement of design year of occupancy, background traffic growth on an annual average basis, and impacts of proposed developments which have already been approved in part or in whole by the Town.</p> <p>d. Projected impact of proposed development: projected peak hour and daily traffic generated by the development on roads and ways in the vicinity of the development.</p> <p>e. Sight lines at the intersections of the proposed driveways and streets.</p> <p>f. Existing and proposed traffic controls in the vicinity of the proposed development; proposed pedestrian and bicycle ways and design elements to maximize pedestrian and bicycle safety and usage.</p> <p>g. Proposed transit design elements to maximize transit safety and</p>	

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		<p>usage; and projected post-development traffic volumes and Level of Service (LOS) of intersections and streets likely to be affected by the proposed development.</p> <p>h. Increases in vehicular traffic on adjacent public ways, including impact on existing traffic signals, and, if indicated, a plan to remediate identified deficiencies.</p> <p>i. Proposed measures to minimize traffic conflict and mitigate any affected intersections or ways.</p>	
10.5.4	Waiver of Submittal Compliance	The Board may, upon written request of the applicant, waive any of the submittal requirements of Section 10.5.3 where the project involves relatively simple development plans or constitutes a minor site plan.	
10.5.5	Approval	Site Plan approval shall be granted upon determination by the Board that the plan meets the following objectives. The Board may impose reasonable conditions at the expense of the applicant, including performance guarantees, to promote these objectives. Any new building construction or other site alteration shall provide adequate access to each structure for fire and service equipment and adequate provision for utilities and stormwater drainage consistent with the functional requirements of the Planning Board's Subdivision Rules and Regulations. New building construction or other site alterations shall be designed with consideration of the qualities of the specific location, the proposed land use, the design of building form, grading, egress points, and other aspects of the development, in order to:	Acknowledged

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		1. Minimize the volume of cut and fill, the number of removed trees 6" caliper or larger, the length of removed stone walls, the area of wetland vegetation displaced, the extent of stormwater flow increase from the site, soil erosion, and threat of air and water pollution.	
		2. Maximize accessibility and pedestrian and vehicular safety, both on the site and accessing and exiting the site. (Amended 5-1-17 ATM, Art. 17)	
		3. Minimize obstruction of scenic views from publicly accessible locations.	
		4. Minimize visual intrusion by controlling the visibility of parking, storage, or other outdoor service areas viewed from public ways or premises residentially used or zoned.	
		5. Minimize glare from headlights, minimize light glare into the night sky, and minimize overspill into adjacent properties.	
		6. Minimize unreasonable departure from the character, materials, and scale of buildings in the vicinity, as viewed from public ways and places.	
		7. Minimize contamination of groundwater from on-site wastewater disposal systems or operations on the premises involving the use, storage, handling, or containment of hazardous substances.	
		8. Ensure compliance with the provisions of this Zoning Bylaw, including parking and landscaping.	
10.5.6	Lapse	Site plan approval shall lapse after one year from the grant thereof if a substantial use thereof has not sooner commenced except for good cause. Such approval may, for good cause, be extended in writing by the Board upon the	Acknowledged

10.5 Site Plan Review			
Section	Description	Requirement	Proposed/Comment/Waiver Request
		written request of the applicant.	
10.5.7	Regulations	The Board may adopt reasonable regulations for the administration of site plan review.	Acknowledged
10.5.8	Fee	The Board may adopt reasonable administrative fees and technical review fees for site plan review.	Acknowledged
10.5.9	Appeal	Any decision of the Board pursuant to this Section shall be appealed in accordance with G.L. c. 40A, s. 17 to a court of competent jurisdiction.	Acknowledged

UNITED STATES GEOLOGICAL SURVEY MAP



N.T.S.

FORESIGHT LAND SERVICES, INC.
ENGINEERING • SURVEYING • PLANNING
1496 West Housatonic Street
Pittsfield, MA 01201
FLS Project #E3122

Exhibit A-1
USGS Stockbridge QUAD, 1987 ed.
Source MASSGIS
Map 1, Lot 165A, Pleasant Street North
Housatonic, MA

USDA WEB SOIL SURVEY MAP



Map Unit Symbol	Map Unit Name
267A	Copake fine sandy loam, 0 to 3 percent slopes
510C	Pittsfield loam, 8 to 15 percent slopes

N.T.S.

FORESIGHT LAND SERVICES
ENGINEERING • SURVEYING • PLANNING
1496 West Housatonic Street
Pittsfield, MA 01201

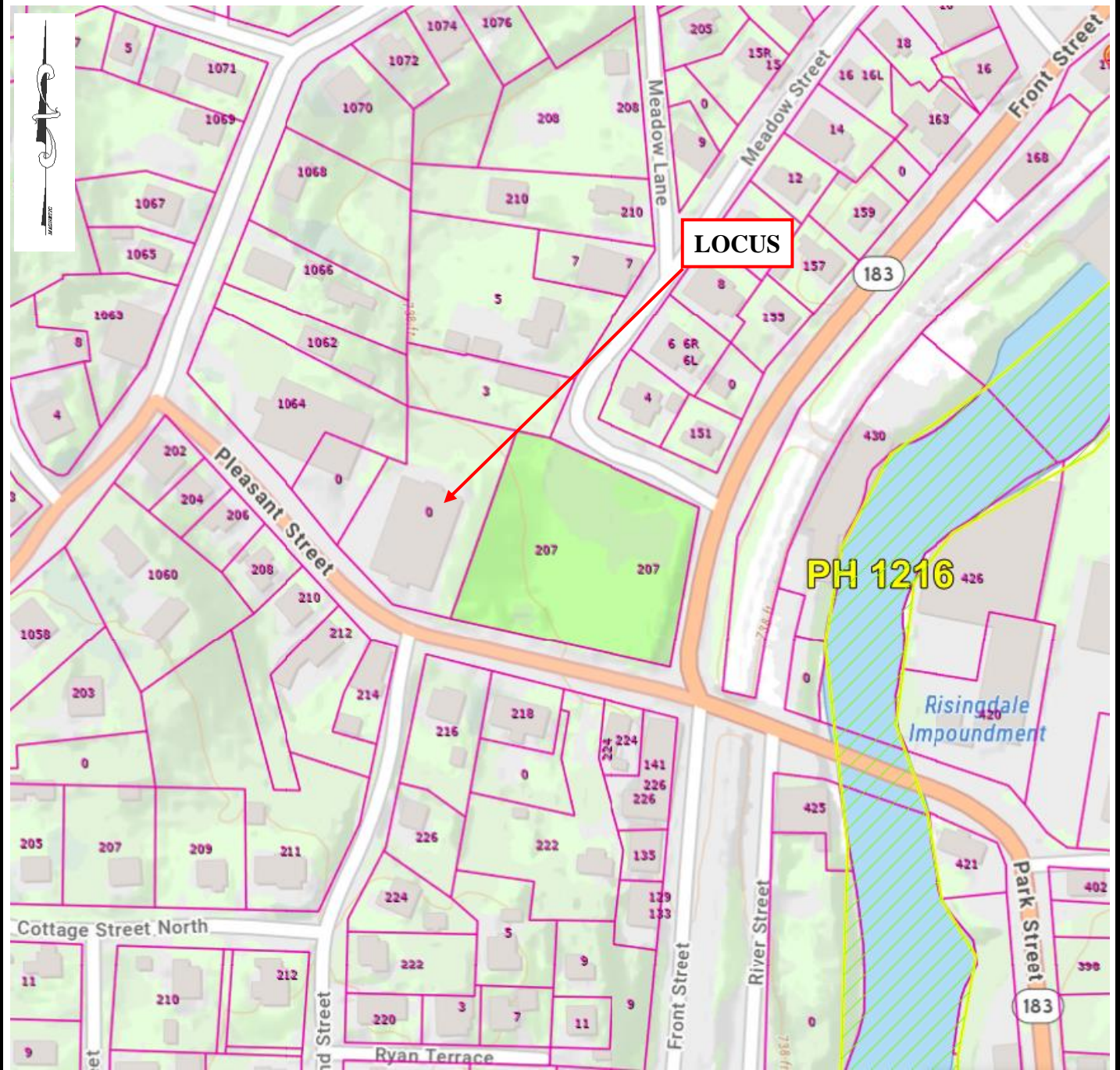
FLS Project #E3122

Exhibit A-2
USDA Web Soil Survey

Map 1, Lot 165A, Pleasant Street North
Housatonic, MA

PRIORITY HABITATS AND ESTIMATED HABITATS Effective August 1, 2021
Priority Habitats for use with the MA Endangered Species Act Regulations (321 CMR 10)
Estimated Habitats for use with the MA Wetland Protection Act Regulations (310 CMR 10)
Produced by Natural Heritage & Endangered Species Program

MA Division of Fisheries and Wildlife



N.T.S.

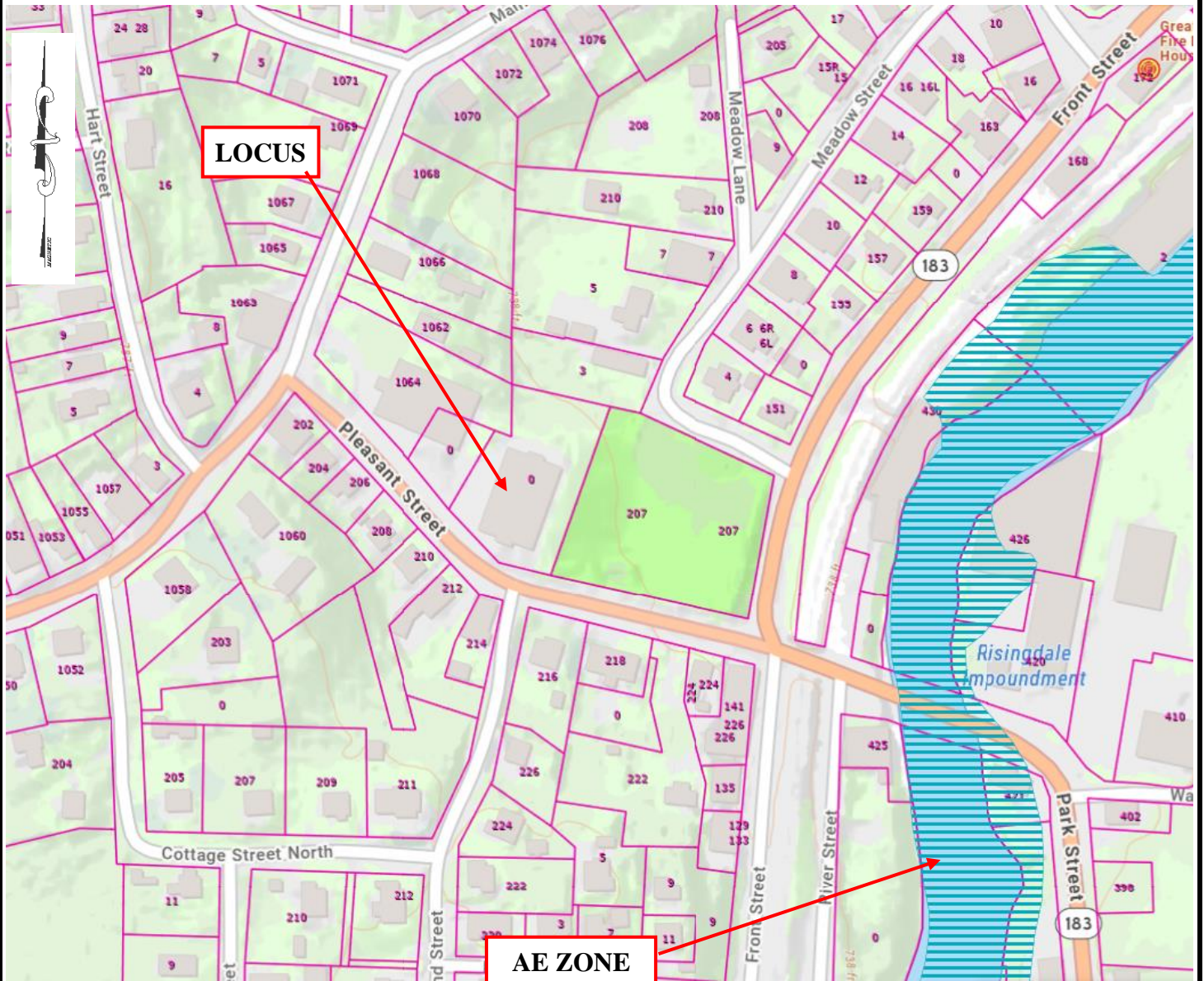
FORESIGHT LAND SERVICES
ENGINEERING • SURVEYING • PLANNING
1496 West Housatonic Street
Pittsfield, MA 01201

FLS Project #E3122

Exhibit A-3
Priority Habitat Map
USGS Stockbridge QUAD, 1987 ed.
Source MASSGIS

Map 1, Lot 165A, Pleasant Street North
Housatonic, MA

NATIONAL FLOOD INSURANCE PROGRAM



N.T.S.

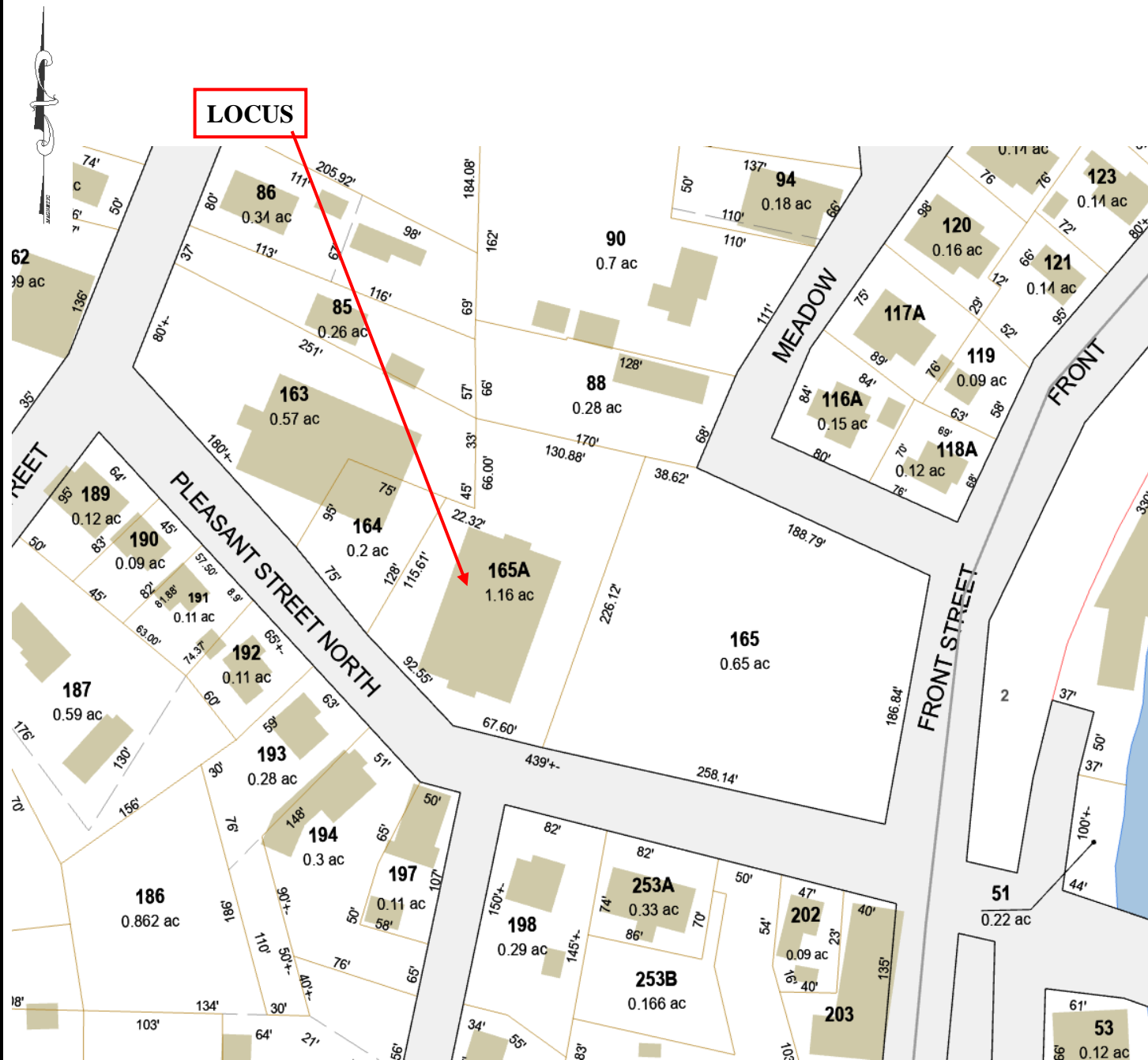
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Pittsfield, MA 01201

FLS Project #E3122

Exhibit A-4
USGS Stockbridge QUAD, 1987 ed.
Source MASSGIS

Map 1, Lot 165A, Pleasant Street North
Housatonic, MA

TOWN OF GREAT BARRINGTON ASSESSOR'S MAP

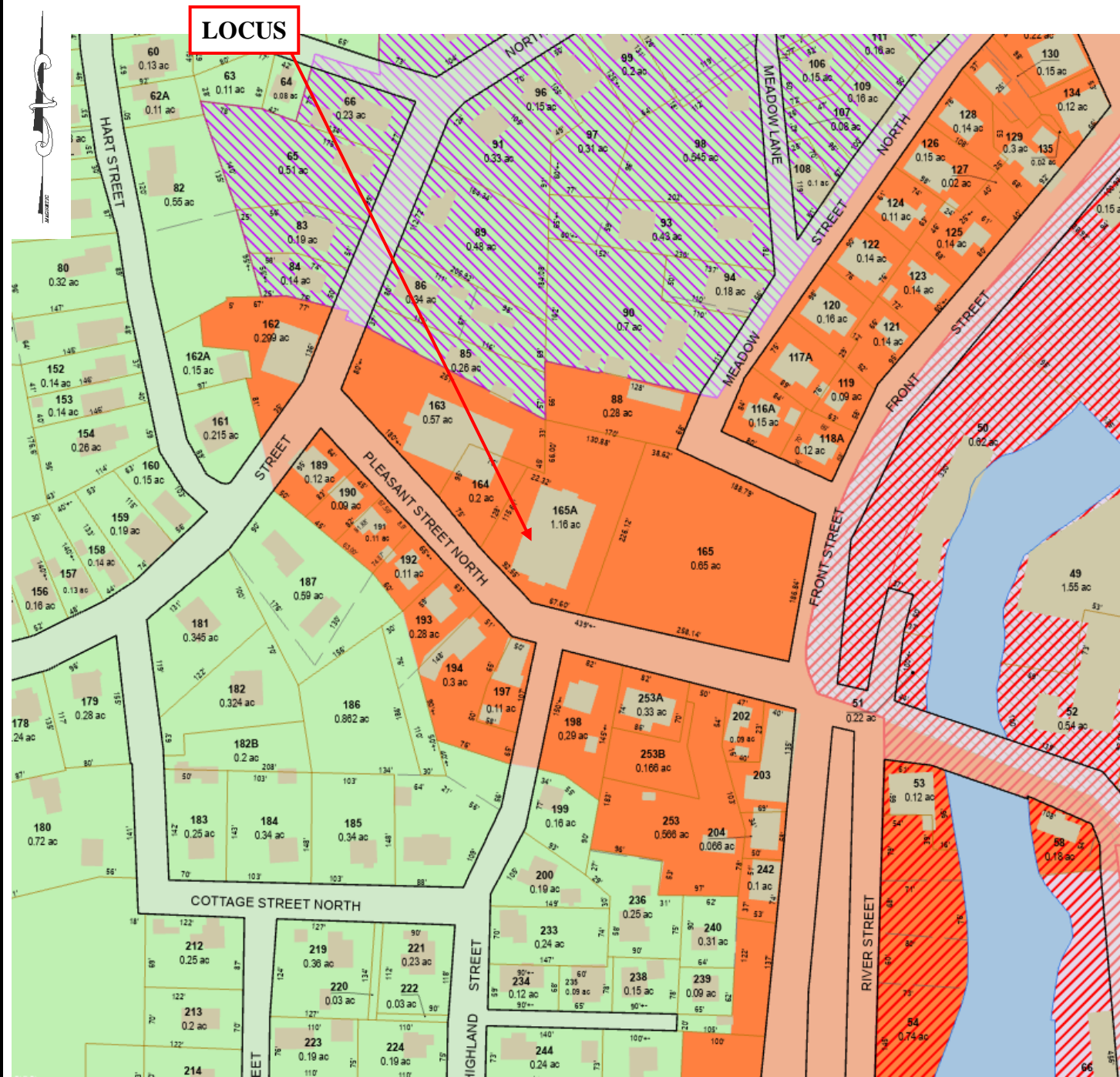


N.T.S.

FORESIGHT LAND SERVICES
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1496 West Housatonic Street
Pittsfield, MA 01201
FLS Project #E3122

Exhibit A-5
USGS Stockbridge QUAD, 1987 ed.
Source MASSGIS
Map 1, Lot 165A, Pleasant Street North
Housatonic, MA

TOWN OF GREAT BARRINGTON ZONING MAP



N.T.S.

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1496 West Housatonic Street
Pittsfield, MA 01201

FLS Project #E3122

Exhibit A-6
USGS Stockbridge QUAD, 1987 ed.
Source MASSGIS

Map 1, Lot 165A, Pleasant Street North
Housatonic, MA



CAI Property Card

Town of Great Barrington, MA

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
LOCATION: PLEASANT ST NORTH ACRES: 1.16 PARCEL ID: 001.0-0000-0165.A LAND USE CODE: 903 CONDO COMPLEX: OWNER: TOWN OF GREAT BARRINGTON CO - OWNER: PLAYGROUND MAILING ADDRESS: 334 MAIN ST RM 208 GT BARRINGTON, MA 01230-1832 ZONING: R3 PATRIOT ACCOUNT #: 160	BUILDING STYLE: UNITS: 0 YEAR BUILT: FRAME: EXTERIOR WALL COVER: ROOF STYLE: ROOF COVER:	
	BUILDING INTERIOR	
<th data-bbox="82 678 967 720">SALE INFORMATION</th> <td data-bbox="967 558 1531 1318" rowspan="5"> INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: </td>	SALE INFORMATION	INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES:
<th data-bbox="82 919 967 961">PRINCIPAL BUILDING AREAS</th>	PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 0 FINISHED BUILDING AREA: 0 BASEMENT AREA: 0 # OF PRINCIPAL BUILDINGS: 0		
<th data-bbox="82 1119 967 1161">ASSESSED VALUES</th>	ASSESSED VALUES	
LAND: 144,400 YARD: 0 BUILDING: 0 TOTAL: \$144,400		
SKETCH	PHOTO	
<p>NO SKETCH AVAILABLE</p>	<p>NO PHOTO AVAILABLE</p>	



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Bruce Firger, Assessor
John Katz, Assessor

Ross A. Vivori, MAA, Principal Assessor
E-mail: rvivori@townofgb.org

Carol Strommer
Administrative Assessor
E-mail: cstrommer@townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619 x 3
Fax: (413) 528-1026

TOWN OF GREAT BARRINGTON MASSACHUSETTS BOARD OF ASSESSORS

August 11, 2023

Ref: Certified Abutters List
Parcel No. Map 001 Lot 165.A
Pleasant St. North

To whom it may concern:

The above list of abutters to the subject property is correct according to the latest record of this office.

Sincerely,

Ross A. Vivori

Principal Assessor - MAA

413-528-1619 ext. 2302

RVivori@townofgb.org

Town of Great Barrington

334 Main Street

Great Barrington MA 01230





300 foot Abutters List Report

Great Barrington, MA

August 11, 2023

Subject Property:

Parcel Number: 1-165-A
CAMA Number: 1-165-A
Property Address: PLEASANT ST NORTH

Mailing Address: TOWN OF GREAT BARRINGTON
PLAYGROUND
334 MAIN ST RM 208
GT BARRINGTON, MA 01230-1832

Abutters:

Parcel Number: 1-116-A
CAMA Number: 1-116-A
Property Address: 4 MEADOW ST

Mailing Address: ORCZYKOWSKA SYLWIA M ZIEMINSKI
ADAM J
PO BOX 857
HOUSATONIC, MA 01236-0857

Parcel Number: 1-117-A
CAMA Number: 1-117-A
Property Address: 6 MEADOW ST

Mailing Address: LIMON ERIC A GARLOW-KENT MALIKA J
PO BOX 539
HOUSATONIC, MA 01236-0539

Parcel Number: 1-117-A
CAMA Number: 1-117-A
Property Address: 6 MEADOW ST

Mailing Address: KENT JEFFREY D & MORGAN J
2 STILLWELL ST #2
GT BARRINGTON, MA 01230-1678

Parcel Number: 1-117-A
CAMA Number: 1-117-A
Property Address: 6 MEADOW ST

Mailing Address: LIMON ERIC A GARLOW-KENT MALIKA J
PO BOX 539
HOUSATONIC, MA 01236-0539

Parcel Number: 1-117-A
CAMA Number: 1-117-A
Property Address: 6 MEADOW ST

Mailing Address: KENT JEFFREY D & MORGAN J
2 STILLWELL ST #2
GT BARRINGTON, MA 01230-1678

Parcel Number: 1-118-A
CAMA Number: 1-118-A
Property Address: 151 FRONT ST

Mailing Address: GIROUARD KEITH E & ALDONNA T
PO BOX 229
HOUSATONIC, MA 01236-0229

Parcel Number: 1-119-0
CAMA Number: 1-119-0
Property Address: FRONT ST

Mailing Address: GIROURD KEITH E & ALDONNA T
PO BOX 229
HOUSATONIC, MA 01236-0229

Parcel Number: 1-120-0
CAMA Number: 1-120-0
Property Address: 8 MEADOW ST

Mailing Address: POTOSKI DERK A
PO BOX 853
HOUSATONIC, MA 01236-0853

Parcel Number: 1-1-203-0
CAMA Number: 1-1-203-0
Property Address: 137 FRONT ST

Mailing Address: CENTER FOR PEACE THROUGH
CULTURE INC
PO BOX 633
HOUSATONIC, MA 01236-0633

Parcel Number: 1-121-0
CAMA Number: 1-121-0
Property Address: 155 FRONT ST

Mailing Address: ESPINOZA-JIMINEZ ANGEL
50 STOCKBRIDGE RD
GT BARRINGTON, MA 01230-1226



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8/11/2023

Page 1 of 5



300 foot Abutters List Report

Great Barrington, MA

August 11, 2023

Parcel Number: 1-162-0 CAMA Number: 1-162-0 Property Address: 1063 MAIN ST NORTH	Mailing Address: HOUSATONIC ENTERPRISES LLC FRIEDMAN MANAGEMENT 14 PENN PLAZA NEW YORK, NY 10122-0049
Parcel Number: 1-163-0 CAMA Number: 1-163-0 Property Address: 1064 MAIN ST NORTH	Mailing Address: TOWN OF GREAT BARRINGTON COMMUNITY CENTER 334 MAIN ST RM 208 GT BARRINGTON, MA 01230-1832
Parcel Number: 1-164-0 CAMA Number: 1-164-0 Property Address: PLEASANT ST NORTH	Mailing Address: TOWN OF GREAT BARRINGTON 334 MAIN ST RM 208 GT BARRINGTON, MA 01230-1832
Parcel Number: 1-165-0 CAMA Number: 1-165-0 Property Address: 207 PLEASANT ST NORTH	Mailing Address: TOWN OF GREAT BARRINGTON HOUSATONIC SCHOOL 334 MAIN ST RM 208 GT BARRINGTON, MA 01230-1832
Parcel Number: 1-181-0 CAMA Number: 1-181-0 Property Address: 1058 MAIN ST NORTH	Mailing Address: NEW ENGLAND TELEPHONE CO C/O DUFF & PHELPS PO BOX 2749 ADDISON, TX 75001-2749
Parcel Number: 1-182-0 CAMA Number: 1-182-0 Property Address: 203 COTTAGE ST NORTH	Mailing Address: ARIENTI CYNTHIA M PO BOX 835 HOUSATONIC, MA 01236-0835
Parcel Number: 1-185-0 CAMA Number: 1-185-0 Property Address: 209 COTTAGE ST NORTH	Mailing Address: FIELDS WILLIAM N JR & LINDA J P O BOX 418 HOUSATONIC, MA 01236-0418
Parcel Number: 1-186-0 CAMA Number: 1-186-0 Property Address: 211 COTTAGE ST NORTH	Mailing Address: ANSELMO TOM GOLDSTEIN LESLIE 205 WEST END AVE APT 21B NEW YORK, NY 10023-4813
Parcel Number: 1-187-0 CAMA Number: 1-187-0 Property Address: 1060 MAIN ST NORTH	Mailing Address: RUSH HILLARY TRUSTEE H RUSH REVOC TRUST 892 SHEFFIELD EGREMONT RD GT BARRINGTON, MA 01230-9087
Parcel Number: 1-189-0 CAMA Number: 1-189-0 Property Address: 202 PLEASANT ST NORTH	Mailing Address: DEUTSCHE BANK NATIONAL TRUST C/O OCWEN LOAN SERVICING LLC 1661 WORTHINGTON RD #100 WEST PALM BEACH, FL 33409-6493
Parcel Number: 1-190-0 CAMA Number: 1-190-0 Property Address: 204 PLEASANT ST NORTH	Mailing Address: HASSETT MARGARET PO BOX 386 HOUSATONIC, MA 01236-0386
Parcel Number: 1-191-0 CAMA Number: 1-191-0 Property Address: 206 PLEASANT ST NORTH	Mailing Address: SHEPARDSON CHANDA J PO BOX 263 HOUSATONIC, MA 01236-0263



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8/11/2023

Page 2 of 5



300 foot Abutters List Report

Great Barrington, MA

August 11, 2023

Parcel Number: 1-192-0 CAMA Number: 1-192-0 Property Address: 208 PLEASANT ST NORTH	Mailing Address: ELLIOT BENJAMIN PETER TURNER CECILIA FARLEY P O BOX 473 208 PLEASANT ST HOUSATONIC, MA 01236-0473
Parcel Number: 1-193-0 CAMA Number: 1-193-0 Property Address: 210 PLEASANT ST NORTH	Mailing Address: FENN VIRGINIA TRUSTEE FENN FAMILY NOMINEE TRUST P O BOX 162 HOUSATONIC, MA 01236-0162
Parcel Number: 1-194-0 CAMA Number: 1-194-0 Property Address: 212 PLEASANT ST NORTH	Mailing Address: FENN VIRGINIA TRUSTEE FENN FAMILY NOMINEE TRUST P O BOX 162 HOUSATONIC, MA 01236-0162
Parcel Number: 1-197-0 CAMA Number: 1-197-0 Property Address: 214 PLEASANT ST NORTH	Mailing Address: TOVELL RICHARD M & ABIGAIL B 6 ROBIN RD HOUSATONIC, MA 01236-9717
Parcel Number: 1-198-0 CAMA Number: 1-198-0 Property Address: 216 PLEASANT ST NORTH	Mailing Address: RUBANO DANIEL A & VEINOGLU AM PO BOX 459 HOUSATONIC, MA 01236-0457
Parcel Number: 1-199-0 CAMA Number: 1-199-0 Property Address: 226 HIGHLAND ST	Mailing Address: GABRIEL FAMILY TRUST ANTHONY R GABRIEL TRUSTEE P O BOX 607 HOUSATONIC, MA 01236-0607
Parcel Number: 1-200-0 CAMA Number: 1-200-0 Property Address: 224 HIGHLAND ST	Mailing Address: SAMUL WALTER JOHN KANIA ADELE 4825 JENKINS RD VERNON, NY 13476-3911
Parcel Number: 1-202-0 CAMA Number: 1-202-0 Property Address: 224 PLEASANT ST NORTH	Mailing Address: FAIRAUX DANIEL & NICOLE PO BOX 1302 STOCKBRIDGE, MA 01262-1302
Parcel Number: 1-1-203-0 CAMA Number: 1-2-203-0 Property Address: 226 PLEASANT ST NORTH	Mailing Address: SMITH SUSAN M TRUSTEE HOUSY WHATSIT NOM RLTY TRUST 31 BIGELOW ST CAMBRIDGE, MA 02139-2301
Parcel Number: 1-1-203-0 CAMA Number: 1-2-203-2 Property Address: 139 FRONT ST	Mailing Address: DEGARAMO KATE KNAPP 168 EAST RD ALFORD, MA 01266-9725
Parcel Number: 1-236-0 CAMA Number: 1-236-0 Property Address: 5 RYAN TR	Mailing Address: NOWOBILSKI JAMES M & ANN F PO BOX 272 HOUSATONIC, MA 01236-0272
Parcel Number: 1-253-0 CAMA Number: 1-253-0 Property Address: 222 PLEASANT ST NORTH	Mailing Address: HINKAMPER KEVIN & ANDREA 24 TUCKAWAY SHORES RD NOTTINGHAM, NH 03290-5013



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8/11/2023

Page 3 of 5



300 foot Abutters List Report

Great Barrington, MA

August 11, 2023

Parcel Number: 1-253-A CAMA Number: 1-253-A Property Address: 218 PLEASANT ST NORTH	Mailing Address: KOLDYS BENJAMIN A JR KOLDYS CHRISTINE F P O BOX 689 HOUSATONIC, MA 01236-0689
Parcel Number: 1-253-B CAMA Number: 1-253-B Property Address: PLEASANT ST NORTH	Mailing Address: KOLDYS BENJAMIN A JR KOLDYS CHRISTINE F PO BOX 689 HOUSATONIC, MA 01236-0689
Parcel Number: 1-1-203-0 CAMA Number: 1-3-203-2 Property Address: 141 FRONT ST	Mailing Address: FOGELMAN SETH NATELSON RACHEL 35-56 79TH ST #3 JACKSON HEIGHTS, NY 11372-4840
Parcel Number: 1-1-203-0 CAMA Number: 1-4-203-2 Property Address: 141 FRONT ST	Mailing Address: CARTY JOAN M TRUSTEE JOAN M CARTY TRUST PO BOX 927 STAMPFORD, CT 06904-0927
Parcel Number: 1-1-203-0 CAMA Number: 1-5-203-2 Property Address: 141 FRONT ST	Mailing Address: THOMAS DANIEL P PO BOX 854 HOUSATONIC, MA 01236-0854
Parcel Number: 1-1-203-0 CAMA Number: 1-6-203-2 Property Address: 141 FRONT ST	Mailing Address: POTOSKI SHEA PO BOX 441 HOUSATONIC, MA 01236-0441
Parcel Number: 1-84-0 CAMA Number: 1-84-0 Property Address: 1065 MAIN ST NORTH	Mailing Address: BOAG DAVID R PO BOX 593 HOUSATONIC, MA 01236-0593
Parcel Number: 1-85-0 CAMA Number: 1-85-0 Property Address: 1062 MAIN ST NORTH	Mailing Address: MORELLI BRUCE J SR & BEVERLY A P O BOX 61 HOUSATONIC, MA 01236-0061
Parcel Number: 1-86-0 CAMA Number: 1-86-0 Property Address: 1066 MAIN ST NORTH	Mailing Address: OLANS STEPHEN A 124 ANAWAN AVE WEST ROXBURY, MA 02132-2042
Parcel Number: 1-88-0 CAMA Number: 1-88-0 Property Address: 3 MEADOW ST	Mailing Address: BRONZ RUTH ADAMS PO BOX 531 HOUSATONIC, MA 01236-0531
Parcel Number: 1-89-0 CAMA Number: 1-89-0 Property Address: 1068 MAIN ST NORTH	Mailing Address: CONNELL GWYNETH A 398 POMFRET ST POMFRET, CT 06258-8002
Parcel Number: 1-90-0 CAMA Number: 1-90-0 Property Address: 5 MEADOW ST	Mailing Address: BRONZ RUTH ADAMS P O BOX 531 HOUSATONIC, MA 01236-0531



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8/11/2023

Page 4 of 5



300 foot Abutters List Report

Great Barrington, MA

August 11, 2023

Parcel Number: 1-91-0
CAMA Number: 1-91-0
Property Address: 1070 MAIN ST NORTH

Mailing Address: SKALLER PHYLLIS H TRUSTEE
SKALLER PETER G TRUSTEE
P O BOX 658
HOUSATONIC, MA 01236-0658

Parcel Number: 1-93-0
CAMA Number: 1-93-0
Property Address: 210 MEADOW LN NORTH

Mailing Address: SPANGLER NATHAN D
PO BOX 322
HOUSATONIC, MA 01236-0322

Parcel Number: 1-94-0
CAMA Number: 1-94-0
Property Address: 7 MEADOW ST

Mailing Address: HURLEY JAMES F JR & GERALDINE
P O BOX 516
HOUSATONIC, MA 01236-0516

Parcel Number: 1-97-0
CAMA Number: 1-97-0
Property Address: 1074 MAIN ST NORTH

Mailing Address: MORGANS MILL HOUSE LLC
3 ANDERSON RD
NORWALK, CT 06851-2402

Parcel Number: 1-98-0
CAMA Number: 1-98-0
Property Address: 208 MEADOW LN NORTH

Mailing Address: ALWAYS BE KIND INC
940 HOLMES RD
PITTSFIELD, MA 01201-7109

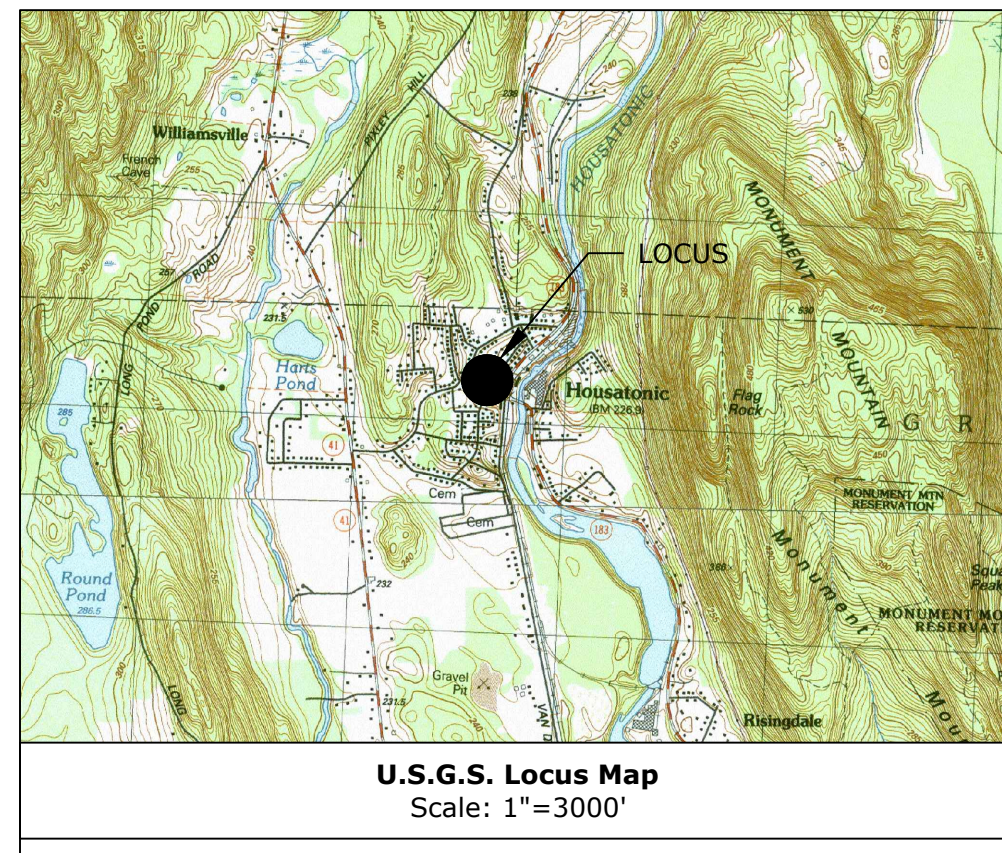


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8/11/2023

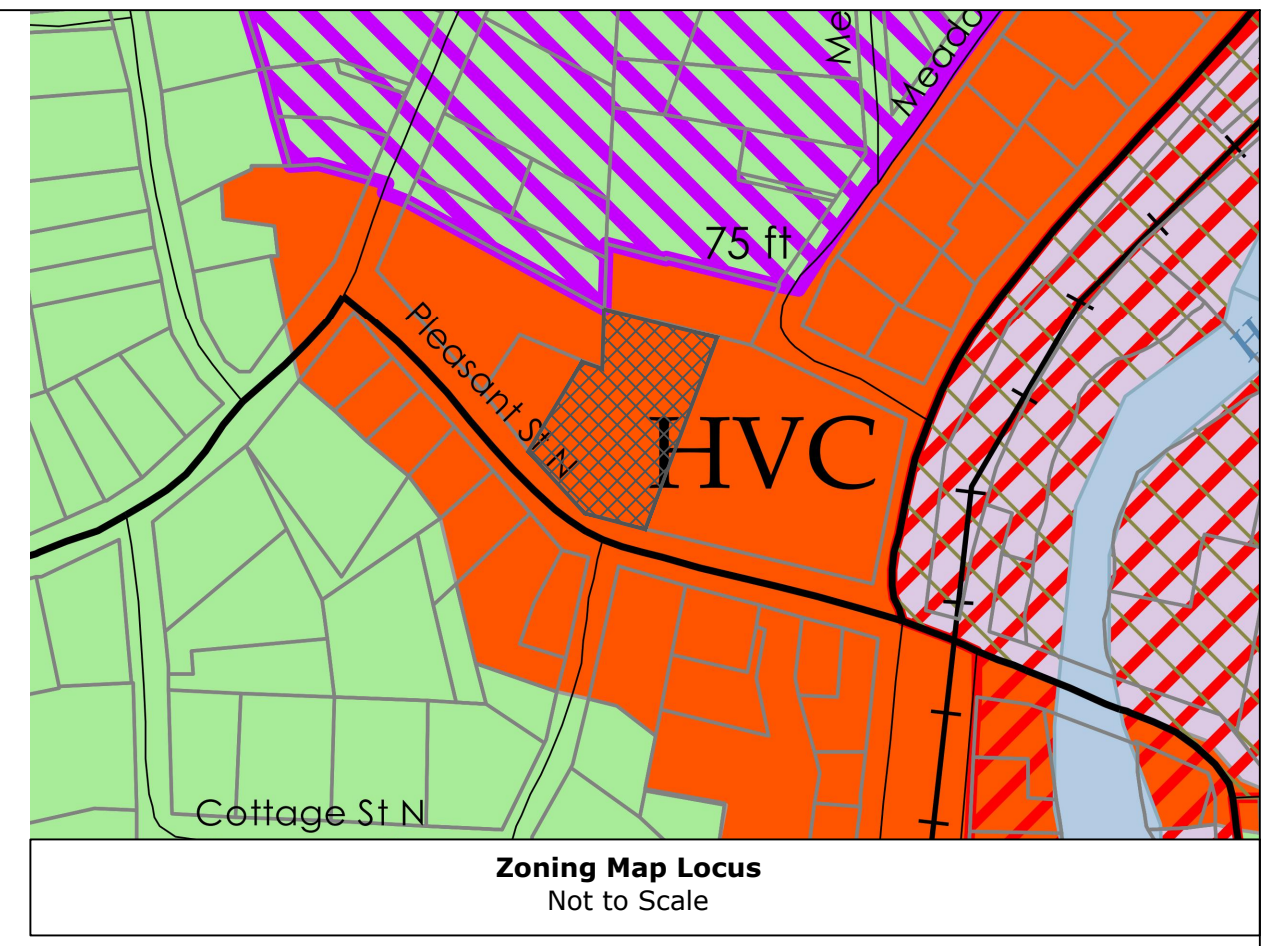
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Page 5 of 5



Housatonic School Improvements

Pleasant Street, Housatonic, MA



U.S.G.S. Locust Map
Scale: 1"=3000'

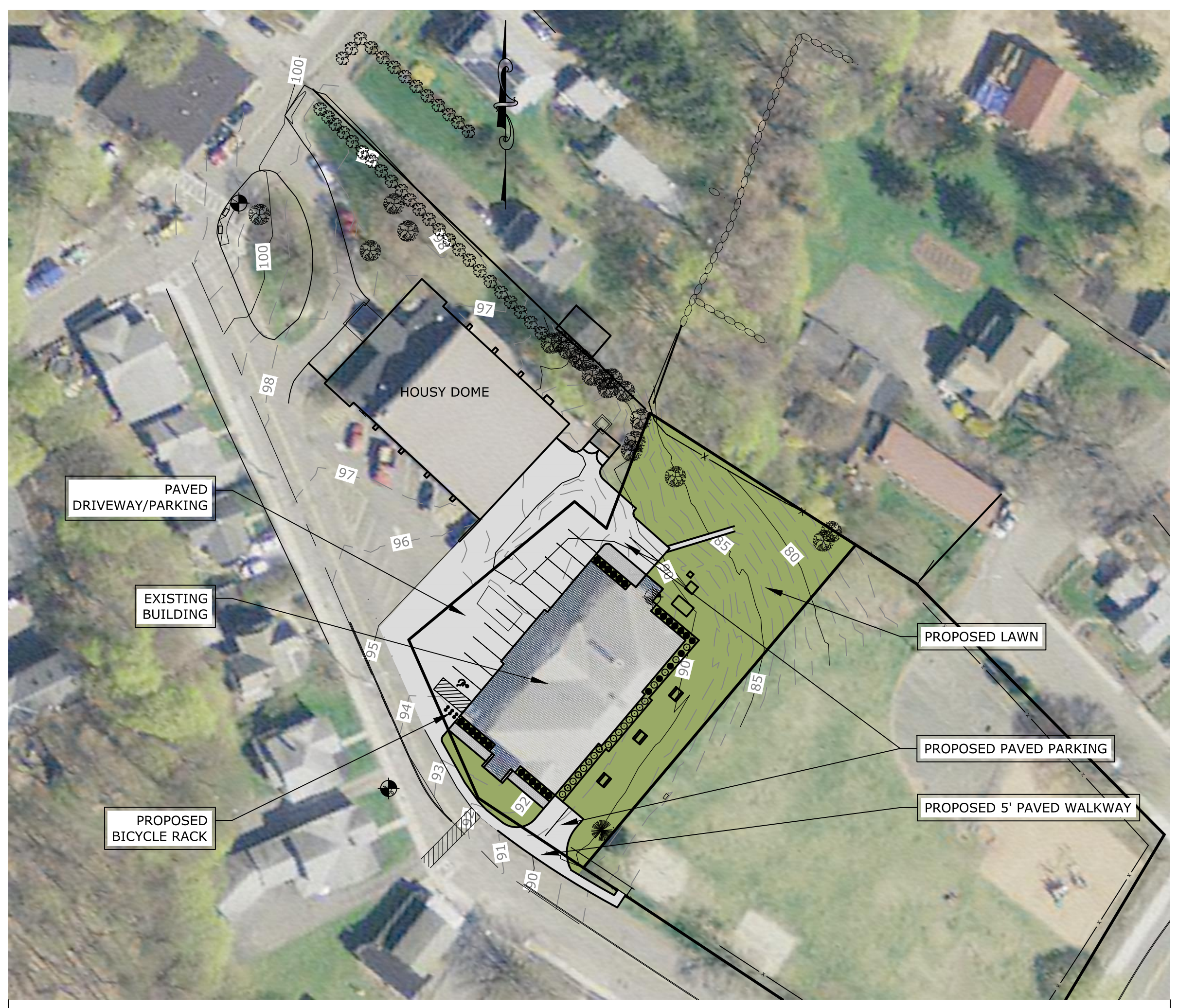
Zoning Map Locus
Not to Scale

GENERAL SITEWORK CONSTRUCTION NOTES

- A. PROTECTION OF WETLANDS, WATER QUALITY, AND STORMWATER MANAGEMENT**
1. WORK PROPOSED ON THIS PLAN MAY INCLUDE AREAS WHICH ARE SUBJECT TO REGULATION UNDER THE MASS. WETLANDS PROTECTION ACT (WPA), FEDERAL CLEAN WATERS ACT (CWA), NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND/OR OTHER STATUTES AND REGULATIONS PERTAINING TO WETLANDS, WATER QUALITY, AND STORMWATER MANAGEMENT.
 2. CONTRACTOR SHALL PERFORM ALL PROPOSED WORK IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS AND AS OUTLINED BELOW.
 3. CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE OR EXCESS EARTH MATERIALS EXCAVATED FROM THE SITE ("SPOIL MATERIAL") IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. UNLESS AN ON-SITE SPOIL AREA IS SPECIFIED, CONTRACTOR SHALL DISPOSE OF EXCESS CLEAN EARTH MATERIAL OFF-SITE IN AN UPLAND AREA OUTSIDE ANY WETLAND BUFFER ZONES OR RESOURCE AREAS.
 4. CONTRACTOR SHALL DISPOSE OF ANY DEMOLITION DEBRIS, CONSTRUCTION DEBRIS, WOOD WASTES, CONTAMINATED SOILS, HAZARDOUS MATERIALS AND OTHER SPECIAL WASTES IN STRICT ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- B. WORK LIMITS AND PROTECTION FROM DAMAGE**
1. SEWER AND WATER SERVICES: SITEWORK CONTRACTOR SHALL INSTALL SEWER, WATER AND BUILDING DRAINAGE SERVICE LINES SUBJECT TO THE MASS. STATE PLUMBING CODE TO WITHIN TEN FEET (10') FROM THE BUILDING FOUNDATION. SITEWORK CONTRACTOR SHALL ALSO EXCAVATE AND BACKFILL THE TRENCHES TO THE BUILDING FOUNDATION, BUT THE PLUMBING CONTRACTOR SHALL MAKE THE FINAL INSTALLATION AND CONNECTION OF THE SEWER, WATER AND BUILDING DRAINAGE SERVICE LINES WITHIN THE FINAL TEN FEET TO THE BUILDING FOUNDATION. (NOTE: BUILDING DRAINAGE LINES INCLUDES STORM DRAIN LINES SUCH AS ROOF LEADERS; IT DOES NOT INCLUDE FOUNDATION DRAINS, OR SURFACE DRAINS OUTSIDE THE BUILDING, WHICH ARE SITEWORK COMPONENTS.)
 2. GRADING: SITEWORK CONTRACTOR SHALL PERFORM ALL EXCAVATION, GRADING, AND SUBGRADING OUTSIDE OF THE BUILDING ENVELOPE. UNLESS OTHERWISE INDICATED ON PLANS AND SPECIFICATIONS, SITEWORK CONTRACTOR SHALL PERFORM FINE GRADING WORK TO WITHIN FIVE FEET (5') FROM BUILDING, IN COORDINATION WITH THE BUILDING AND/OR LANDSCAPE CONTRACTOR. FINAL GRADING WITHIN THE FINAL FIVE FEET AROUND BUILDINGS SHALL BE PERFORMED BY THE BUILDING AND/OR LANDSCAPE CONTRACTOR. ALL FINAL GRADING SHALL BE COORDINATED WITH ARCHITECTURAL AND LANDSCAPING PLANS.
 3. SITEWORK CONTRACTOR SHALL CONFINE ACTIVITIES TO THE WORK LIMITS SHOWN ON THE PLANS OR DIRECTED IN THE FIELD.
 4. UNLESS OTHERWISE INDICATED, SITEWORK CONTRACTOR SHALL PROTECT ALL TREES, STRUCTURES, AND UTILITIES AGAINST DAMAGE, AND SHALL REPAIR OR REPLACE DAMAGED AREAS AT SITEWORK CONTRACTOR'S EXPENSE.
 5. SITEWORK CONTRACTORS SHALL TAKE MEASURES NECESSARY TO PROTECT THE ROOTS OF TREES TO BE PROTECTED FROM DAMAGE DUE TO SITEWORK CONSTRUCTION ACTIVITIES. UNLESS OTHERWISE SPECIFIED, WHERE TRENCHES WILL CROSS UNDER THE CANOPY OF TREES TO BE PROTECTED, CONTRACTOR SHALL ARRANGE TO HAVE A QUALIFIED ARBORIST OR LANDSCAPER ROOT PRUNE AND/OR AIR SPADE THE ROOTS OF THE TREES ALONG BOTH SIDES OF THE TRENCH PRIOR TO BEGINNING THE TRENCHING.
 6. IN ORDER TO AVOID DAMAGING TREE ROOTS BY COMPACTING THE SOIL, CONTRACTOR SHALL NOT ALLOW EQUIPMENT OR VEHICLES TO OPERATE UNDER TREE CANOPIES EXCEPT WHERE NECESSARY TO CARRY OUT THE WORK. NO MATERIALS SHALL BE STOCKPILED OR STAGED UNDER THE TREE CANOPIES.
- C. SOIL CONDITIONS**
1. REFER TO SPECIFICATIONS FOR SOILS INFORMATION. ANY REFERENCES ON THE PLANS TO LEDGE, BEDROCK, OR GROUNDWATER LEVELS ARE FOR INFORMATION ONLY AND SITEWORK CONTRACTOR SHALL NOT RELY UPON THESE REFERENCES AS REPRESENTING THE LIMITS, QUANTITIES, PRESENCE OR ABSENCE OF THESE CONDITIONS.

GENERAL NOTES

1. Topographic Survey was performed by Foresight Land Services on May 24, 25 & 31 2017, using Electronic Total Station with Data Collector.
2. Plan was compiled on a PC-based computer using AutoCAD Civil 3D 2014.
3. Contours are computer-generated interpolations, edited to generally conform to field observations. Contour interval = 1 (one) foot. Contractor shall verify critical elevations and grades in the field prior to construction.
4. Horizontal Datum is based upon plan entitled "Map Showing Division of Housatonic School Lot Pleasant Street in Housatonic MA, by Foresight Land Services dated May 2008" and filed in Berkshire Southern District Registry of Deeds, Plat File P, Page 109.
5. Vertical Datum is assumed. Temporary benchmark was established on site, TBM#1, Filed "X" in a Fire Hydrant, Elev. = 96.96'. TBM#2, Chiseled Square in a Concrete Pad, Elev. = 92.09'. TBM#3, Chiseled Square in a Concrete Sidewalk, Elev. = 101.55'.
6. The locations and information about underground pipes, utilities or other structures are compiled from available record data and visible field evidence and are not represented as being exact or complete. Prior to beginning excavation, the excavator shall give adequate advance notice to the Dig Safe Center, the municipal and/or state Public Works Department, and private utility companies, to allow for field location of facilities in the vicinity.
7. If Contractor observes any field conditions which vary significantly from what is shown on these plans, the contractor shall immediately notify the Owner and Engineer for resolution of the conflicting information.
8. The Contractor shall record tie measurements, depths, dimensions, materials, field conditions and other pertinent data about all underground pipes, utilities and structures encountered during the work, both existing and constructed. Contractor shall submit Record drawings with this information to the Owner and Engineer prior to completion of the work.
9. Contractor shall immediately report any damage to existing pipes, utilities, or structures to the Owner and Engineer, and obtain directions as to repair, replacement or abandonment.



AERIAL MAP
Scale: 1" = 50'±

SHEET INDEX	
C-0	COVER SHEETS, NOTES, LEGEND & INDEX
C-1	EXISTING CONDITIONS PLAN
C-2	PROPOSED SITE & LANDSCAPE PLAN
C-3	PROPOSED UTILITY, GRADING, DRAINAGE & ECB PLAN
C-4, C-4.1	PROPOSED SITE DETAILS

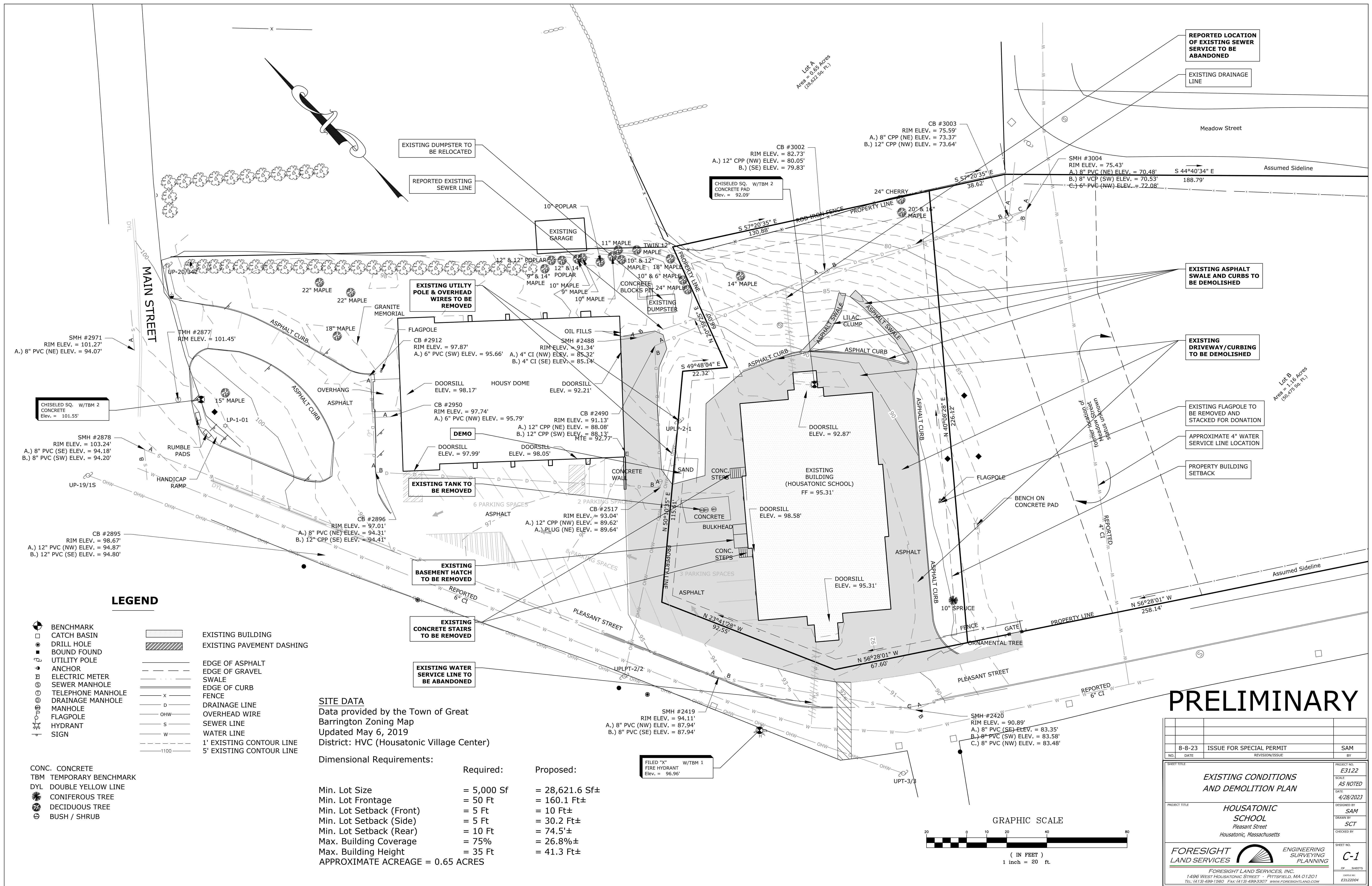
LEGEND			
	BENCHMARK		MANHOLE
	BOULDER		SEWER/SEPTIC MANHOLE
	BOUND FOUND		SIGN
	CATCH BASIN		TRAFFIC SIGNAL POLE
	DRAINAGE MANHOLE		UTILITY PEDESTAL
	DRILL HOLE		UTILITY POLE
	GAS VALVE		ANCHOR
	HAND HOLE		WATER SHUT OFF VALVE
	LIGHT POLE		YARD DRAIN
	MAILBOX		WETLAND FLAG
	AIR CONDITIONER		STUMP
	EXISTING PAVEMENT DASHING		CONIFEROUS TREE
	PROPOSED BUILDING		DECIDUOUS TREE
			GATE POST
			WATER VALVE
			WATER METER PIT
			LIGHT POLE
	EDGE OF ASPHALT		EDGE OF GRAVEL
	EDGE OF CURB		EDGE OF WATER
	EDGE OF WOODS		FENCE
	FLAGGED WETLAND BOUNDARY		GAURD RAIL
	1' CONTOUR LINE		OVER HEAD WIRE
	5' CONTOUR LINE		DRAIN LINE
	APPROXIMATE PROPERTY LINE		GAS LINE
	PROP EROSION CONTROLS		PROPERTY LINE
	PROP 1' CONTOUR LINE		APPROXIMATE PROPERTY LINE
	PROP 5' CONTOUR LINE		PROP EROSION CONTROLS
	1' CONTOUR LINE		PROP 1' CONTOUR LINE
	5' CONTOUR LINE		PROP 5' CONTOUR LINE

PRELIMINARY

NO.	DATE	REVISION/ISSUE	BY
8-8-23		ISSUE FOR SPECIAL PERMIT	SAM

SHEET TITLE	PROJECT NO.
COVER SHEET NOTES, LEGEND & INDEX	E3122
	SCALE
	AS NOTED
	DATE
	4/28/2023
PROJECT TITLE	DESIGNED BY
HOUSATONIC SCHOOL Pleasant Street Housatonic, Massachusetts	SAM
	DRAWN BY
	SCT
	CHECKED BY
	SHEET NO.
	C-0
	OF SHEETS
	4/28/2023

FORESIGHT LAND SERVICES		ENGINEERING SURVEYING PLANNING	
FORESIGHT LAND SERVICES, INC.			
1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201			
TEL: (413) 499-1960 FAX: (413) 499-3307 WWW.FORESIGHTLANDS.COM			



LEGEND

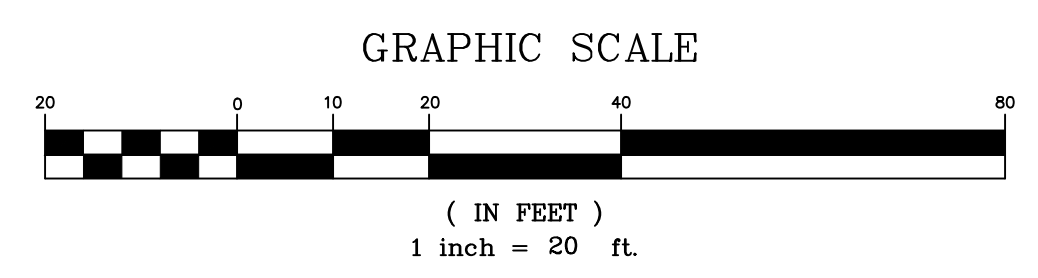
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- CATCH BASIN
- DRILL HOLE
- BOUND FOUND
- UTILITY POLE
- ANCHOR
- ELECTRIC METER
- SEWER MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE MANHOLE
- MANHOLE
- FLAGPOLE
- HYDRANT
- SIGN
- EXISTING BUILDING
- EXISTING PAVEMENT DASHING
- EDGE OF ASPHALT
- EDGE OF GRAVEL SWALE
- EDGE OF CURB
- FENCE
- DRAINAGE LINE
- OVERHEAD WIRE
- SEWER LINE
- WATER LINE
- 1' EXISTING CONTOUR LINE
- 5' EXISTING CONTOUR LINE
- CONC. CONCRETE
- TBM TEMPORARY BENCHMARK
- DYL DOUBLE YELLOW LINE
- CONIFEROUS TREE
- DECIDUOUS TREE
- BUSH / SHRUB

SITE DATA
 Data provided by the Town of Great Barrington Zoning Map Updated May 6, 2019
 District: HVC (Housatonic Village Center)

Dimensional Requirements:

	Required:	Proposed:
Min. Lot Size	= 5,000 Sf	= 28,621.6 Sf±
Min. Lot Frontage	= 50 Ft	= 160.1 Ft±
Min. Lot Setback (Front)	= 5 Ft	= 10 Ft±
Min. Lot Setback (Side)	= 5 Ft	= 30.2 Ft±
Min. Lot Setback (Rear)	= 10 Ft	= 74.5 Ft±
Max. Building Coverage	= 75%	= 26.8%±
Max. Building Height	= 35 Ft	= 41.3 Ft±
APPROXIMATE ACREAGE = 0.65 ACRES		

PRELIMINARY

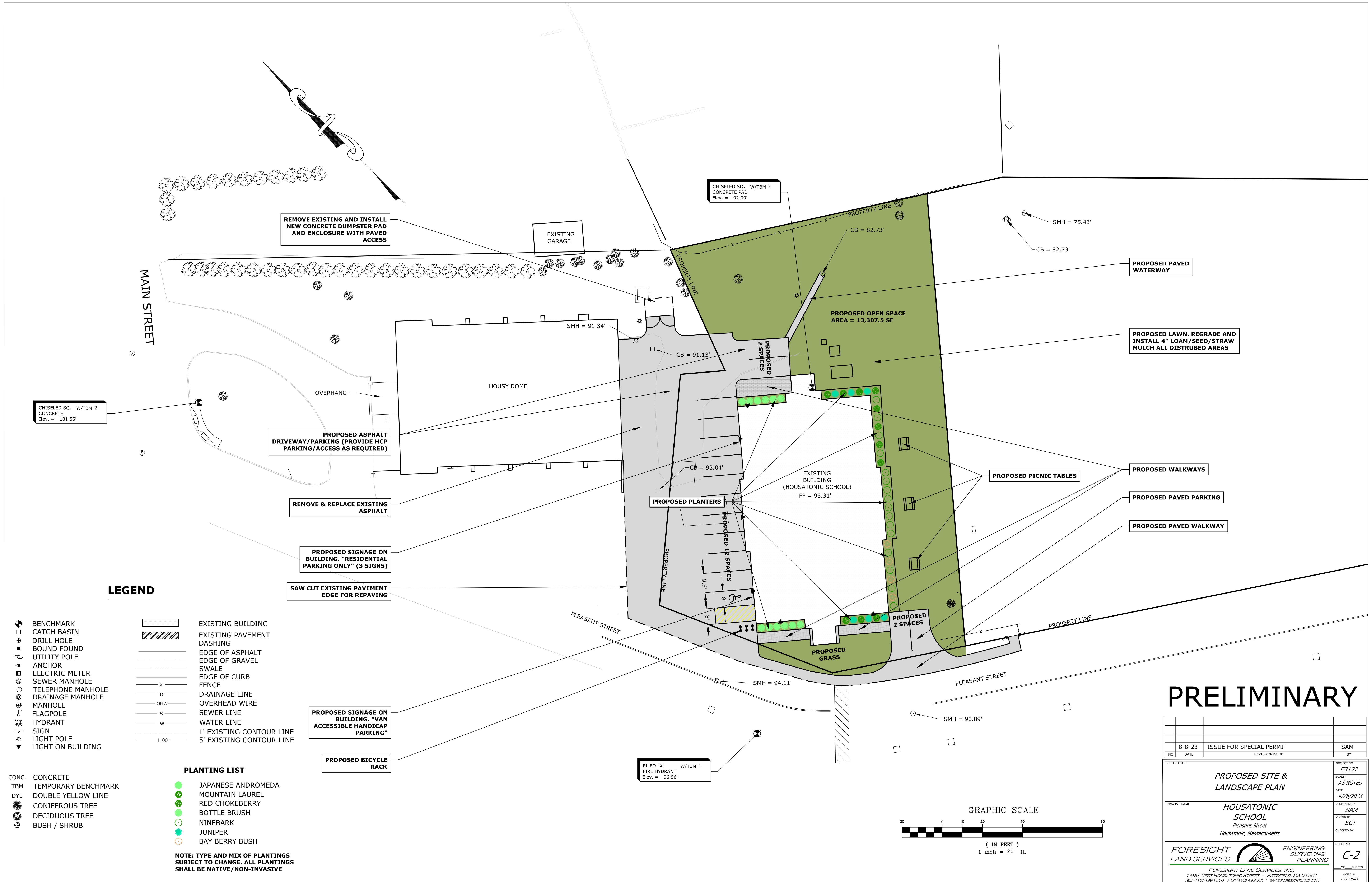


NO.	DATE	REVISION/ISSUE	SAM
8-8-23		ISSUE FOR SPECIAL PERMIT	

PROJECT TITLE	PROJECT NO.
EXISTING CONDITIONS AND DEMOLITION PLAN	E3122
SCALE	SCALE
AS NOTED	AS NOTED
DATE	DATE
4/28/2023	4/28/2023
DESIGNED BY	DESIGNED BY
SAM	SAM
DRAWN BY	DRAWN BY
SCT	SCT
CHECKED BY	CHECKED BY
SHEET NO.	SHEET NO.
C-1	C-1
OF SHEETS	OF SHEETS

PROJECT TITLE: **HOUSATONIC SCHOOL**
 Pleasant Street
 Housatonic, Massachusetts

FORESIGHT LAND SERVICES, INC. ENGINEERING SURVEYING PLANNING
 1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201
 TEL: (413) 499-1260 FAX: (413) 499-3307 WWW.FORESIGHTLANDS.COM



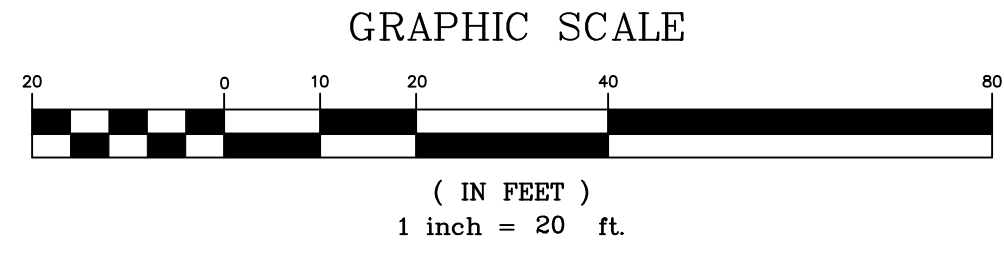
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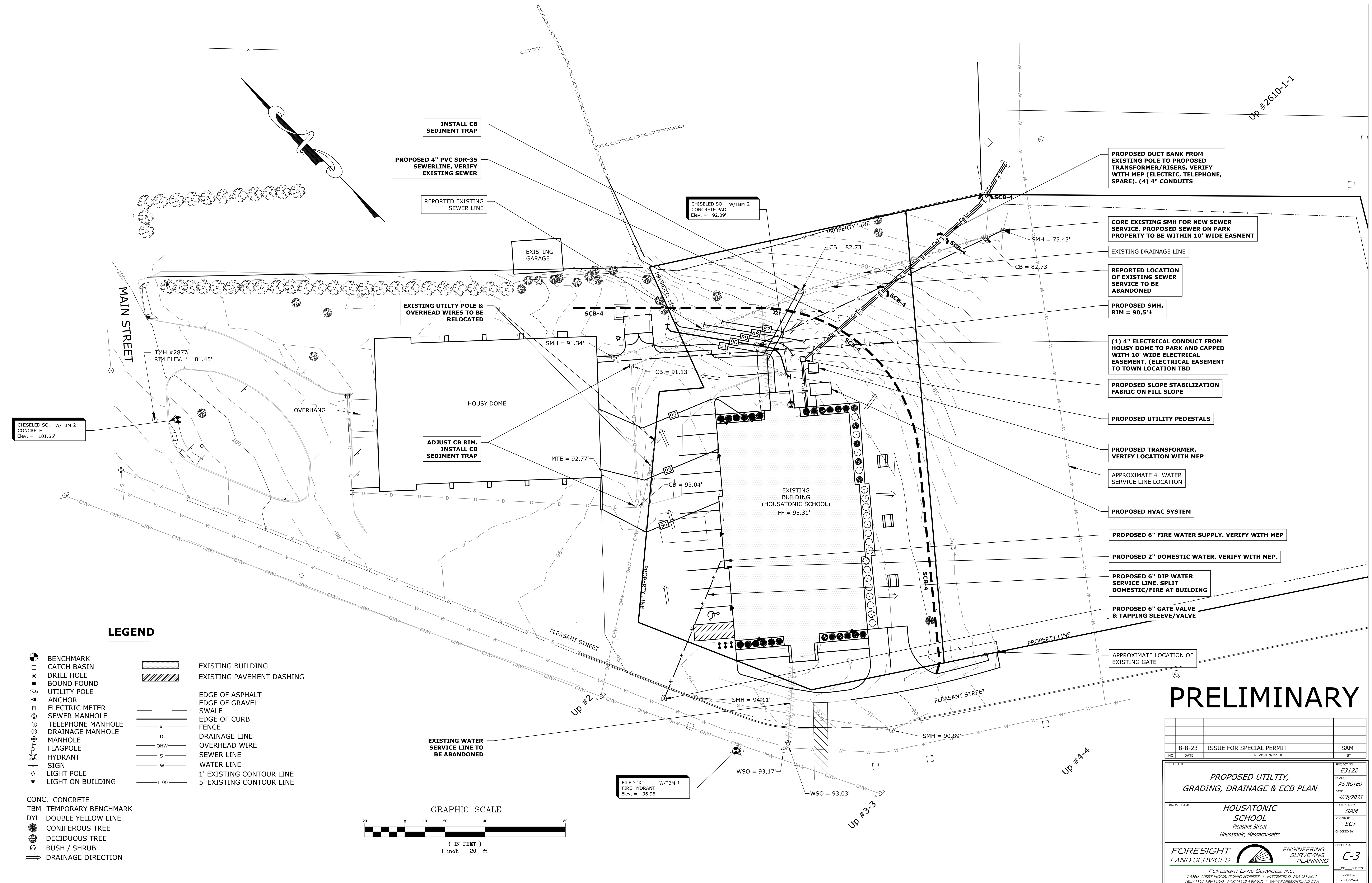
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 - CATCH BASIN
 - DRILL HOLE
 - ⊙ BOUND FOUND
 - ⊙ UTILITY POLE
 - ⊙ ANCHOR
 - ⊙ ELECTRIC METER
 - ⊙ SEWER MANHOLE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ DRAINAGE MANHOLE
 - ⊙ MANHOLE
 - ⊙ FLAGPOLE
 - ⊙ HYDRANT
 - ⊙ SIGN
 - ⊙ LIGHT POLE
 - ⊙ LIGHT ON BUILDING
- ▭ EXISTING BUILDING
 - ▭ EXISTING PAVEMENT
 - DASHING
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
 - SWALE
 - EDGE OF CURB
 - x- FENCE
 - d- DRAINAGE LINE
 - OHW- OVERHEAD WIRE
 - s- SEWER LINE
 - w- WATER LINE
 - - - 1' EXISTING CONTOUR LINE
 - - - 5' EXISTING CONTOUR LINE

- PLANTING LIST**
- JAPANESE ANDROMEDA
 - MOUNTAIN LAUREL
 - RED CHOKEBERRY
 - BOTTLE BRUSH
 - NINEBARK
 - JUNIPER
 - BAY BERRY BUSH
- NOTE: TYPE AND MIX OF PLANTINGS SUBJECT TO CHANGE. ALL PLANTINGS SHALL BE NATIVE/NON-INVASIVE**

PRELIMINARY

NO.	DATE	REVISION/ISSUE	BY
8-8-23		ISSUE FOR SPECIAL PERMIT	SAM
PROJECT TITLE		PROJECT NO.	
PROPOSED SITE & LANDSCAPE PLAN		E3122	
PROJECT TITLE		SCALE	
HOUSATONIC SCHOOL		AS NOTED	
Pleasant Street		DATE	
Housatonic, Massachusetts		4/28/2023	
DESIGNED BY		DRAWN BY	
SAM		SCT	
CHECKED BY		SHEET NO.	
		C-2	
OF SHEETS		SHEET NO.	
		E3122/04	
<p>FORESIGHT LAND SERVICES, INC. ENGINEERING SURVEYING PLANNING</p> <p>1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201 TEL: (413) 499-1260 - FAX: (413) 499-3307 - WWW.FORESIGHTLAND.COM</p>			

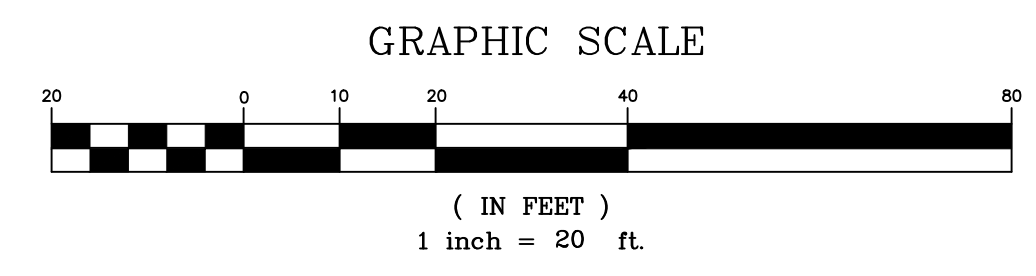




LEGEND

- ⊕ BENCHMARK
 - CATCH BASIN
 - DRILL HOLE
 - BOUND FOUN
 - ⊙ UTILITY POLE
 - ⊙ ANCHOR
 - ⊙ ELECTRIC METER
 - ⊙ SEWER MANHOLE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ DRAINAGE MANHOLE
 - ⊙ MANHOLE
 - ⊙ FLAGPOLE
 - ⊙ HYDRANT
 - ⊙ SIGN
 - ⊙ LIGHT POLE
 - ⊙ LIGHT ON BUILDING
- ▨ EXISTING BUILDING
 - ▨ EXISTING PAVEMENT DASHING
 - EDGE OF ASPHALT
 - EDGE OF GRAVEL
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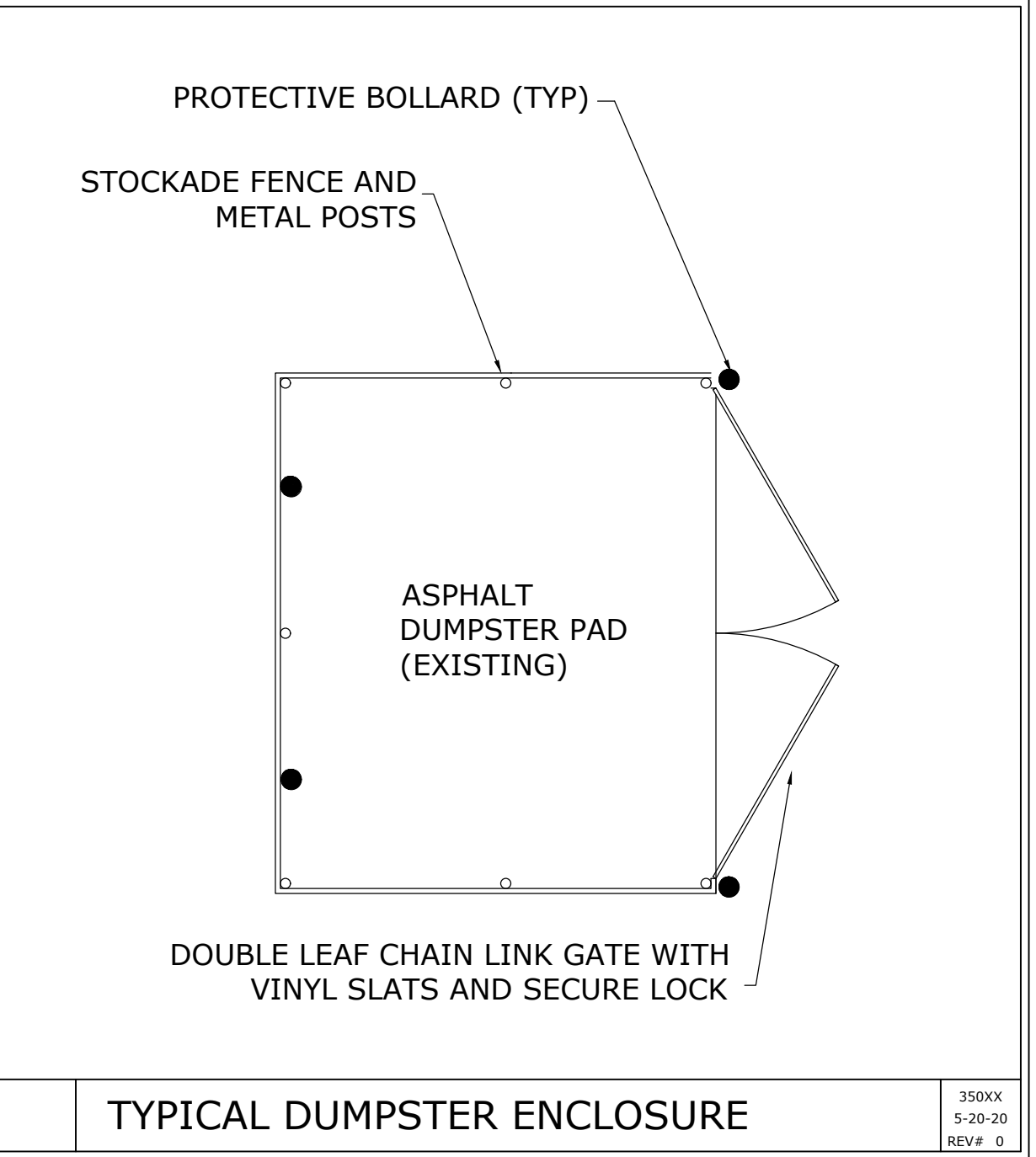
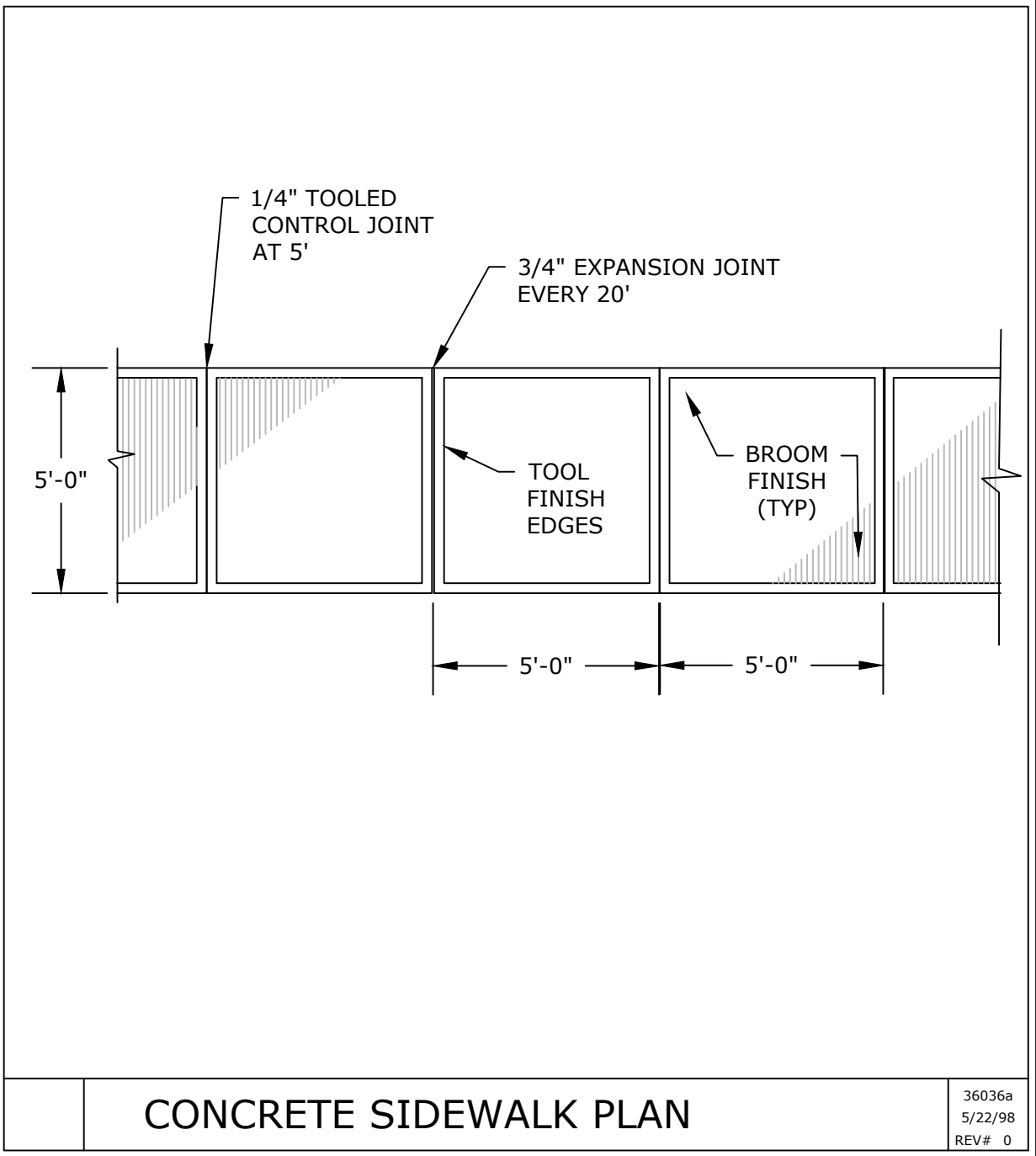
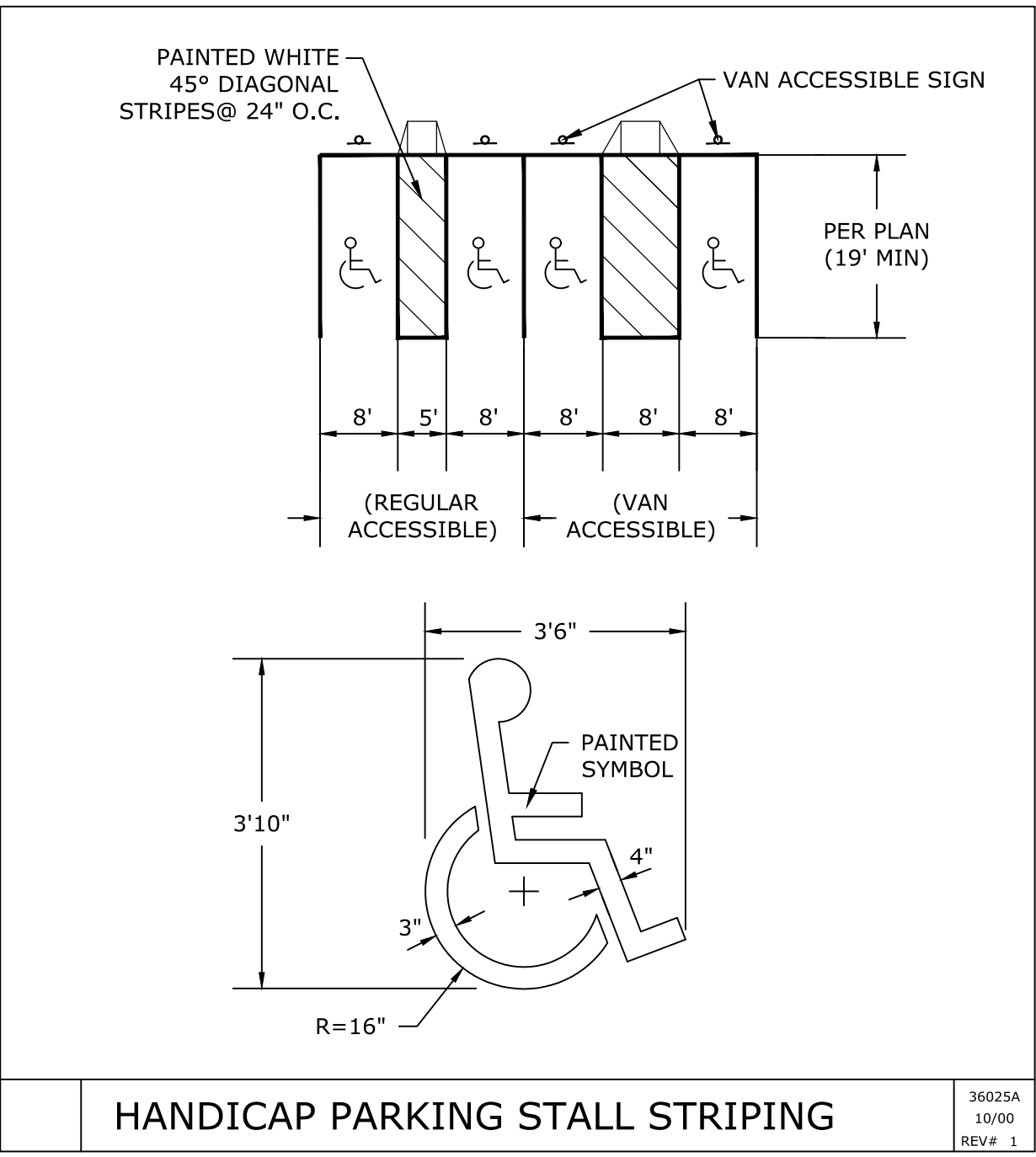
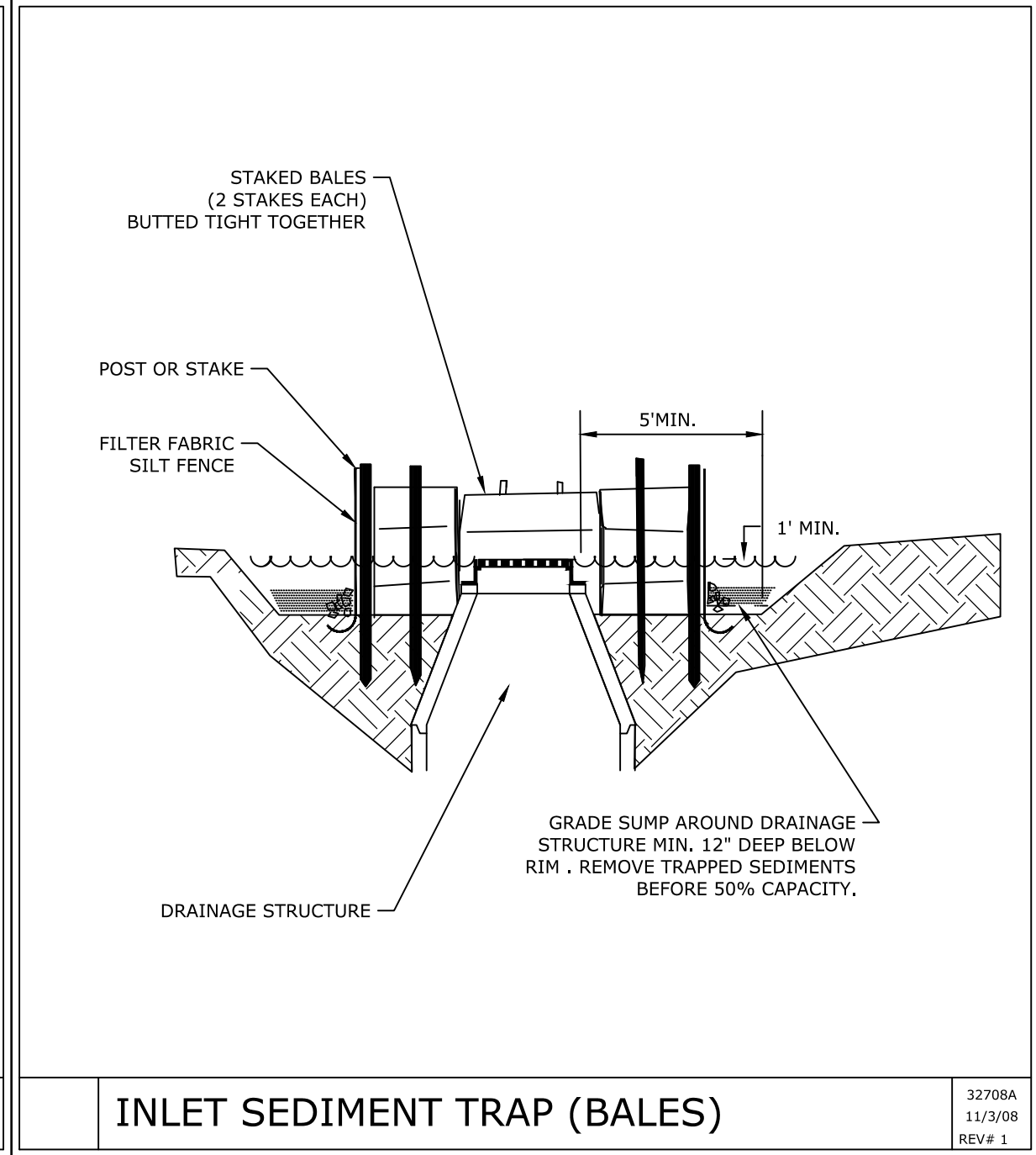
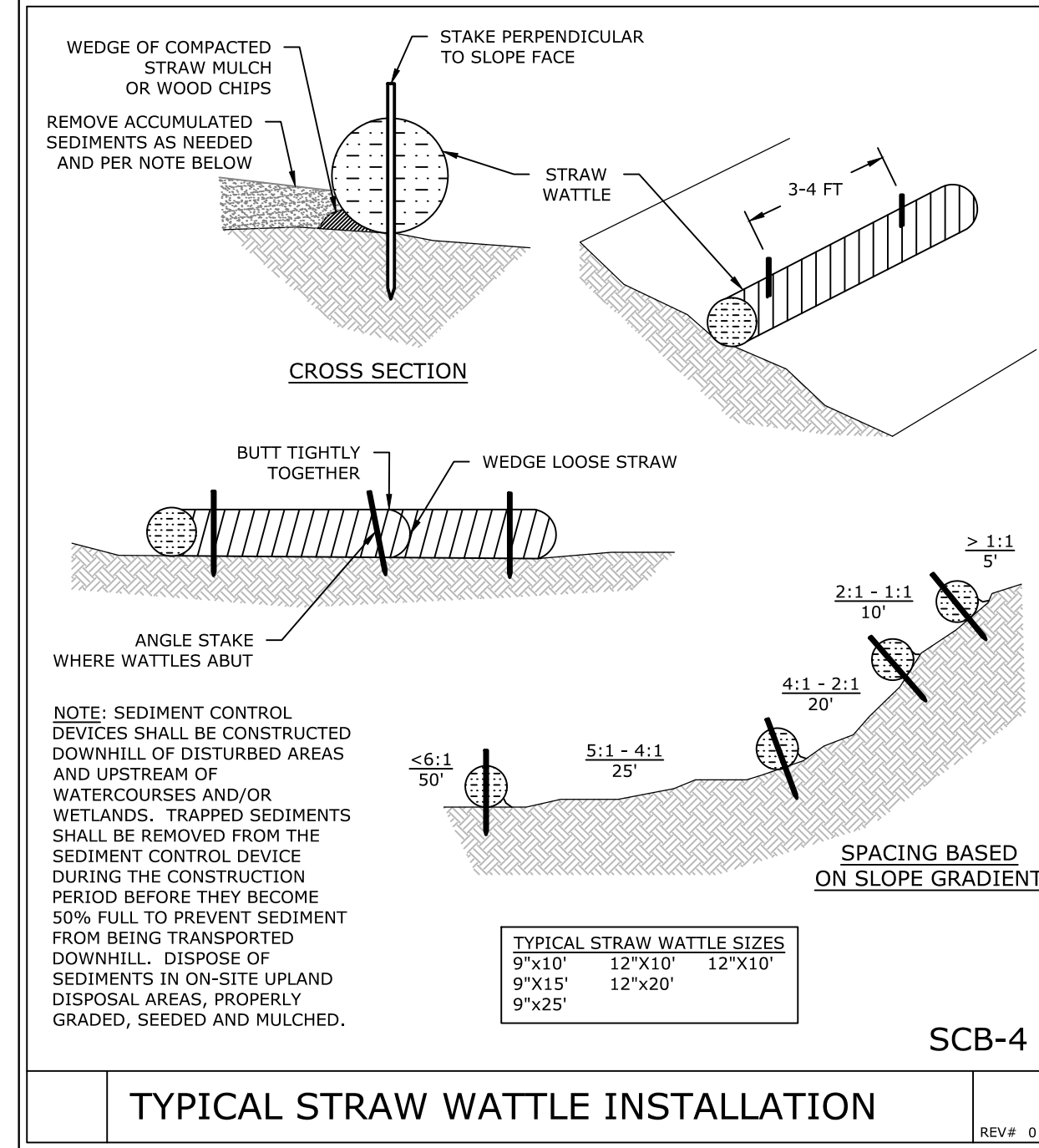
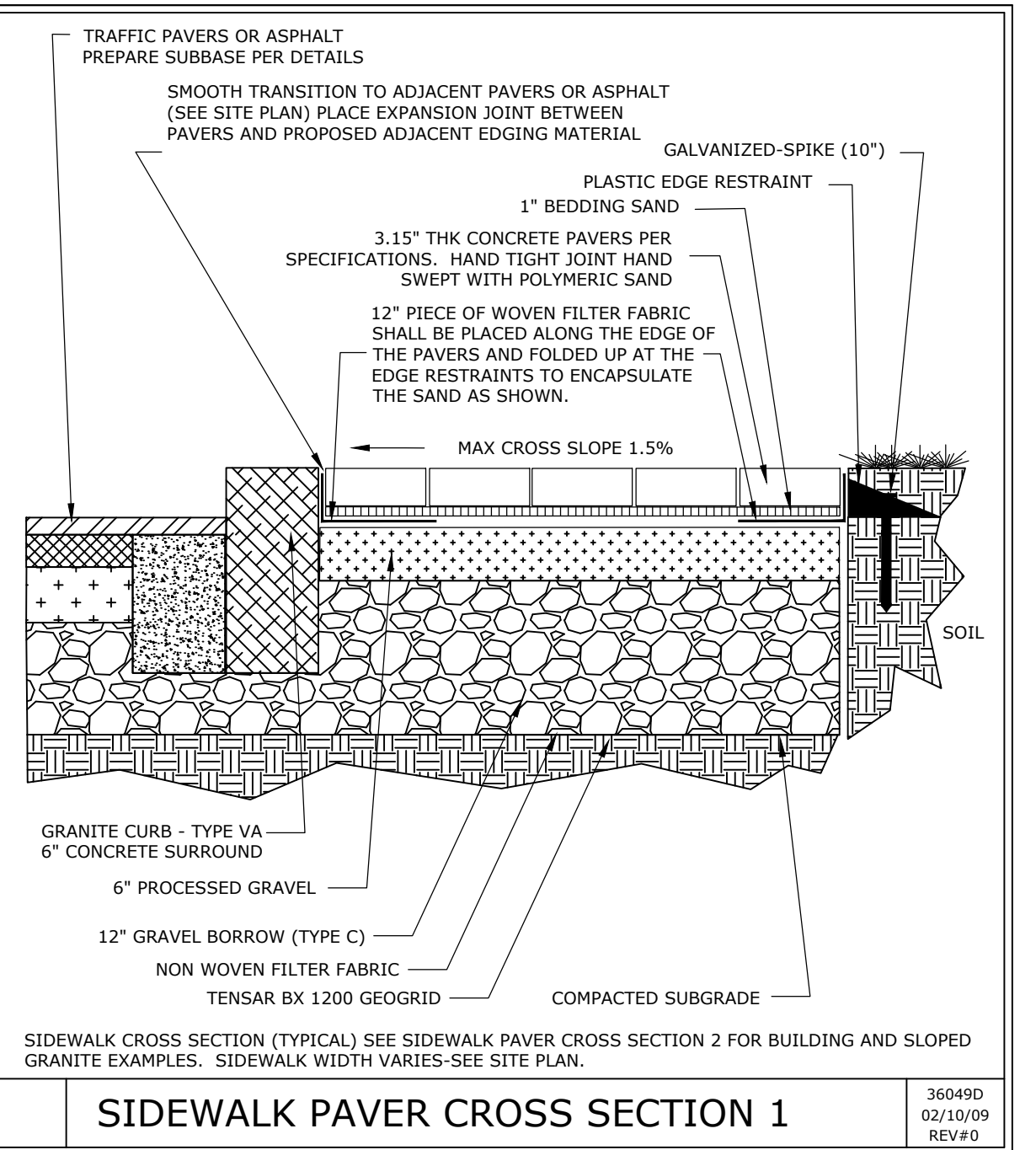
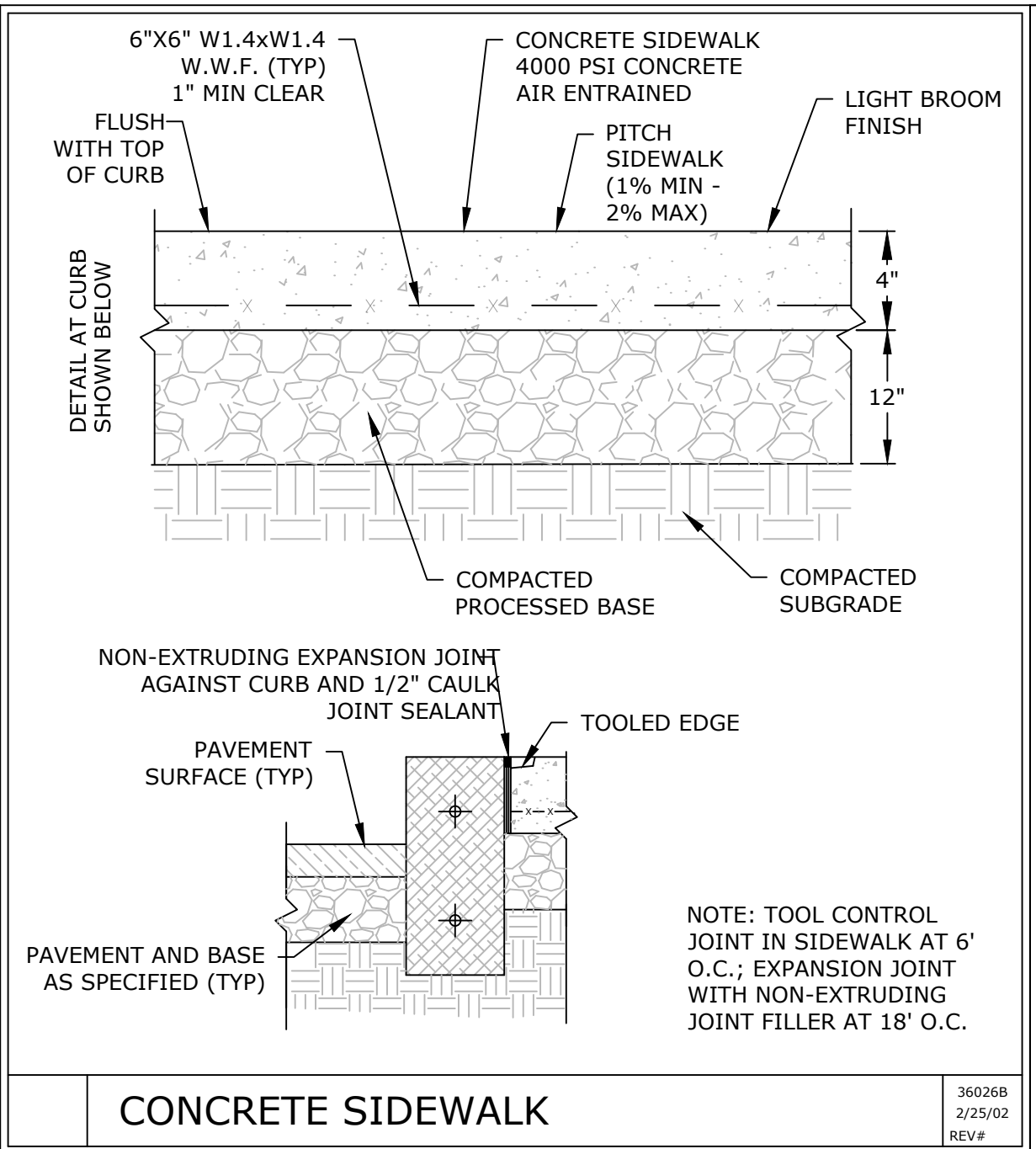
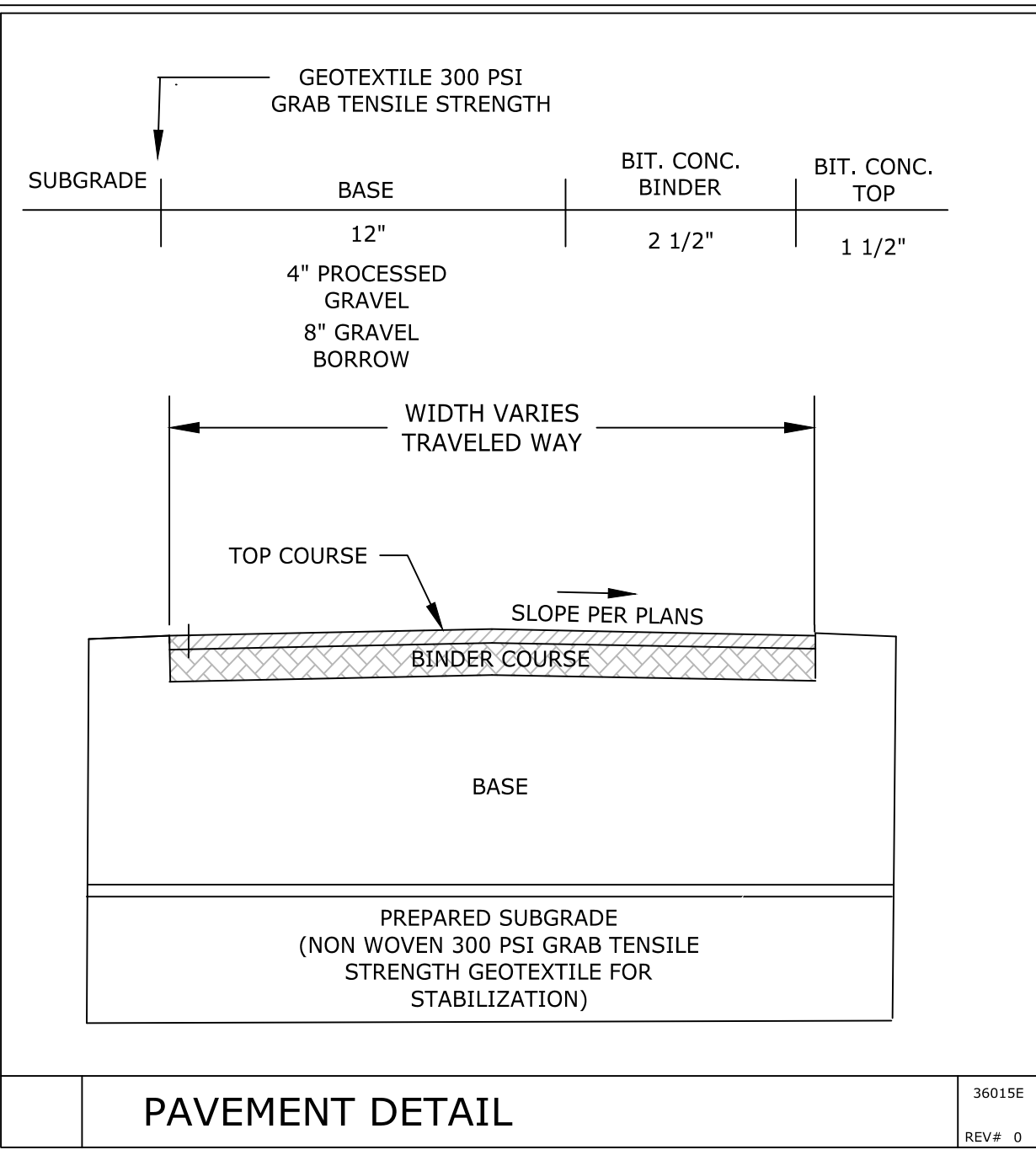
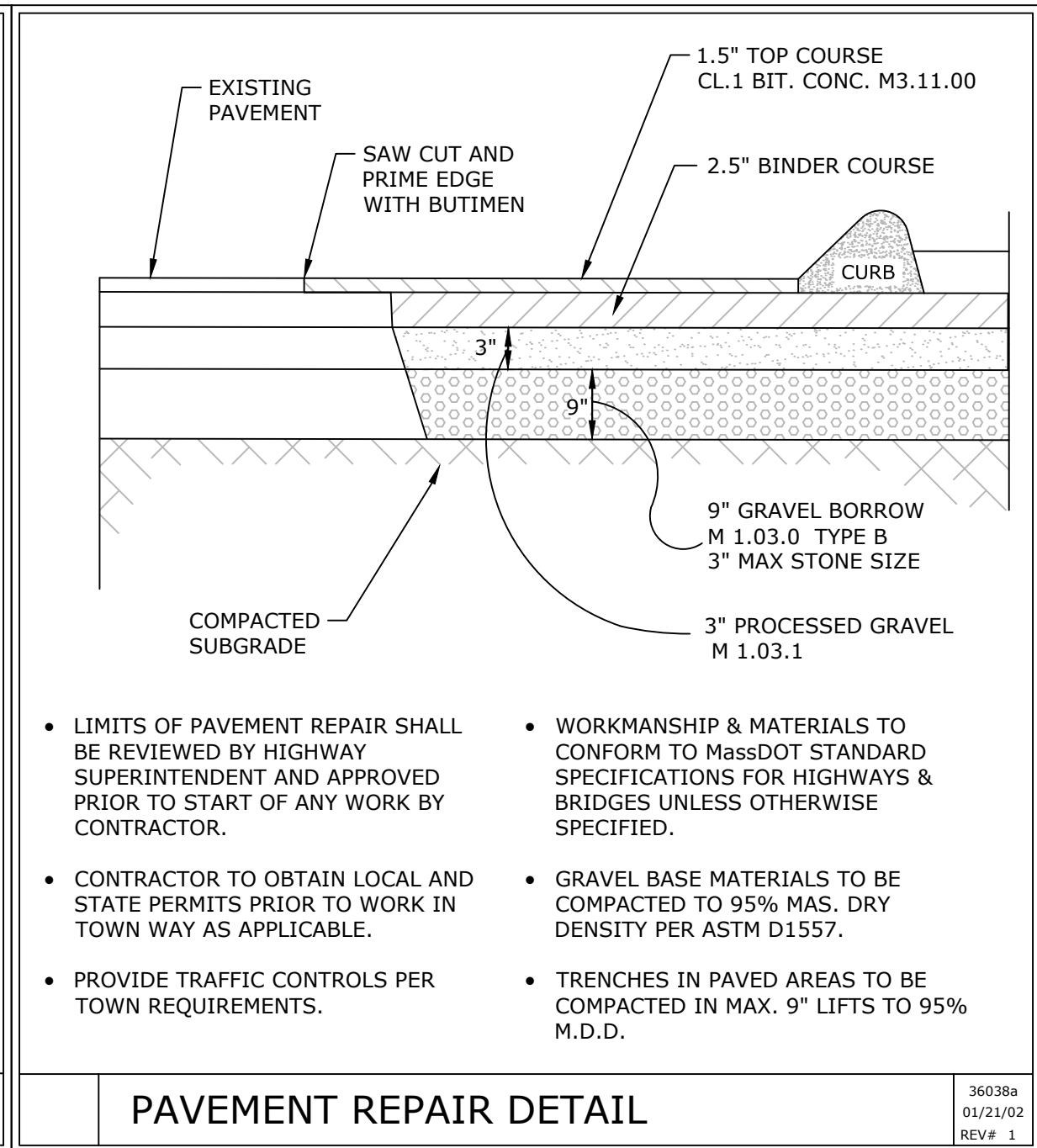
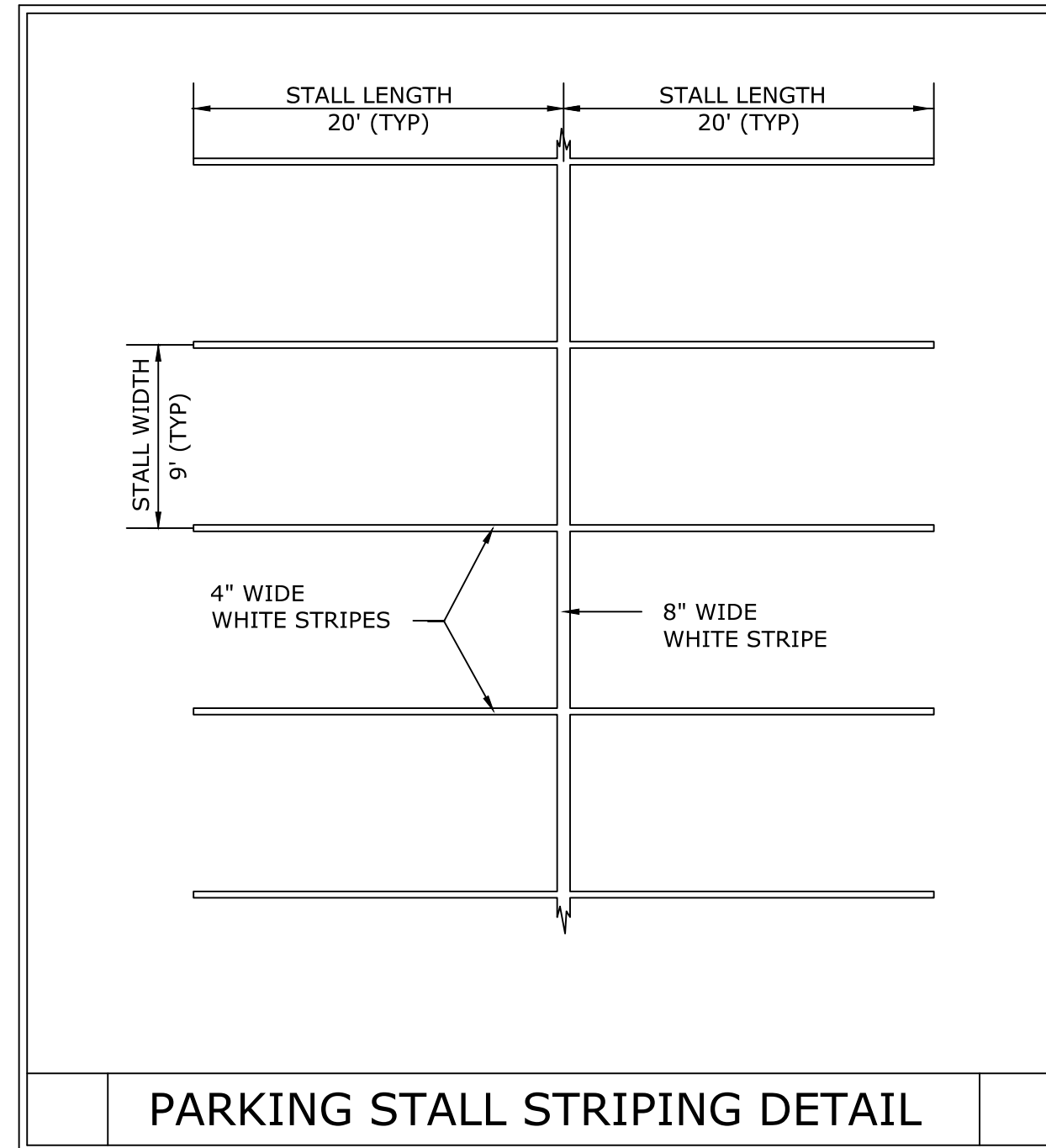
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- TBM TEMPORARY BENCHMARK
- DYL DOUBLE YELLOW LINE
- CONIFEROUS TREE
- DECIDUOUS TREE
- BUSH / SHRUB
- ⇒ DRAINAGE DIRECTION



PRELIMINARY

NO.	DATE	REVISION/ISSUE	BY
8-8-23		ISSUE FOR SPECIAL PERMIT	SAM
PROJECT TITLE			PROJECT NO.
PROPOSED UTILTY, GRADING, DRAINAGE & ECB PLAN			E3122
PROJECT TITLE			SCALE
HOUSATONIC SCHOOL Pleasant Street Housatonic, Massachusetts			AS NOTED
DESIGNED BY			DATE
SAM			4/28/2023
DRAWN BY			CHECKED BY
SCT			
CHECKED BY			SHEET NO.
			C-3
OF SHEETS			

FORESIGHT LAND SERVICES ENGINEERING SURVEYING PLANNING
 FORESIGHT LAND SERVICES, INC.
 1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201
 TEL: (413) 499-1260 FAX: (413) 499-3307 WWW.FORESIGHTLAND.COM

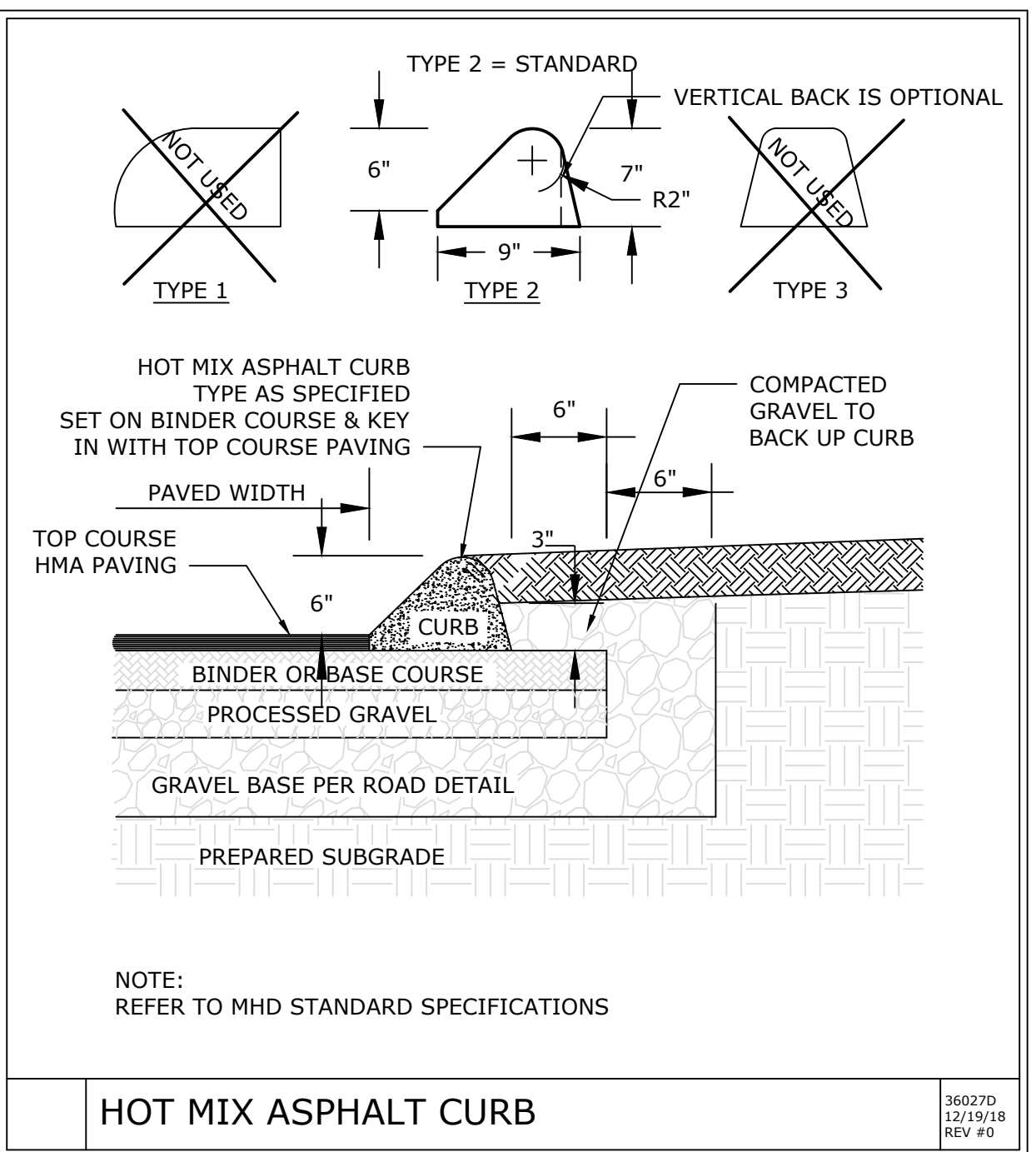
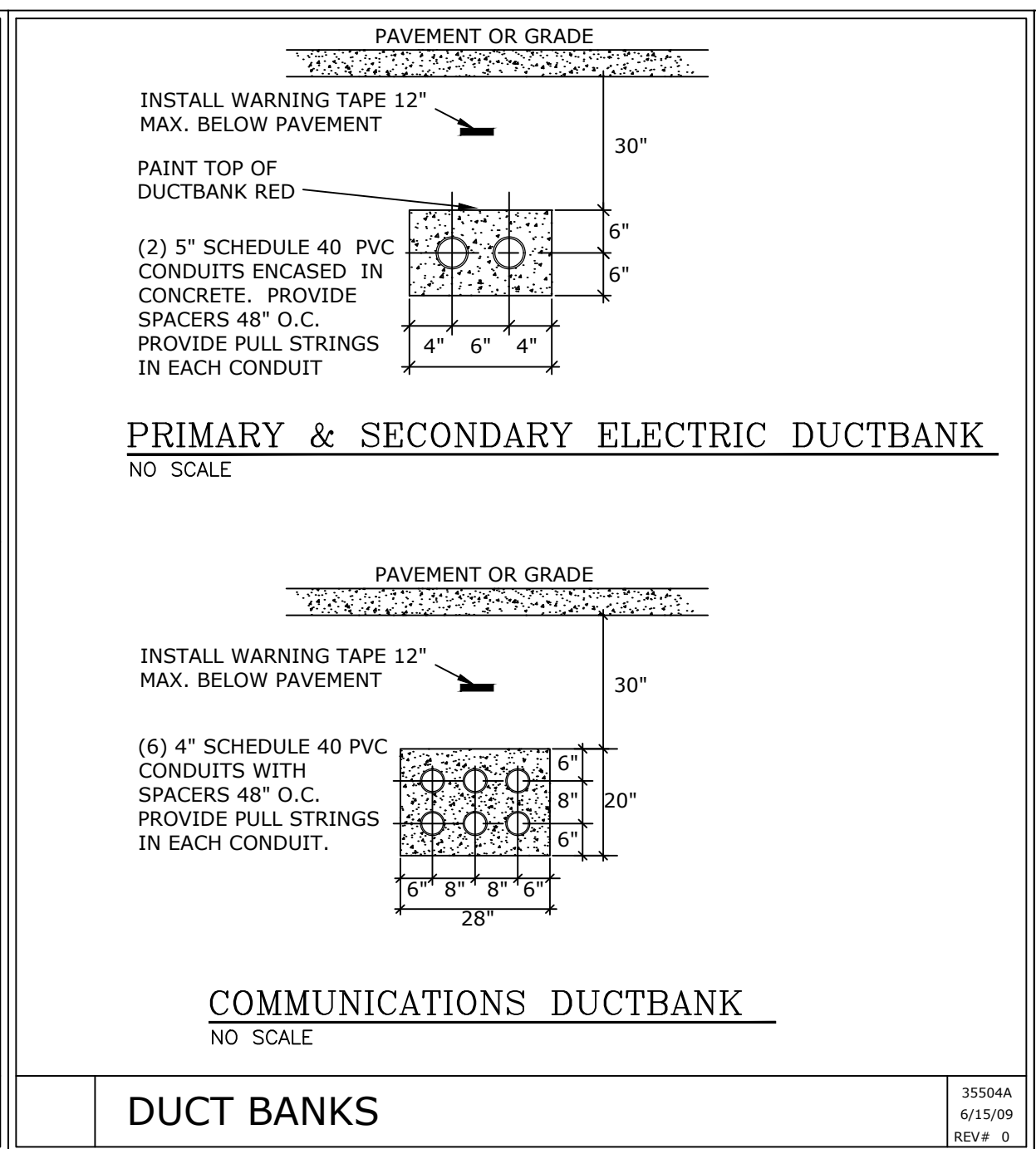
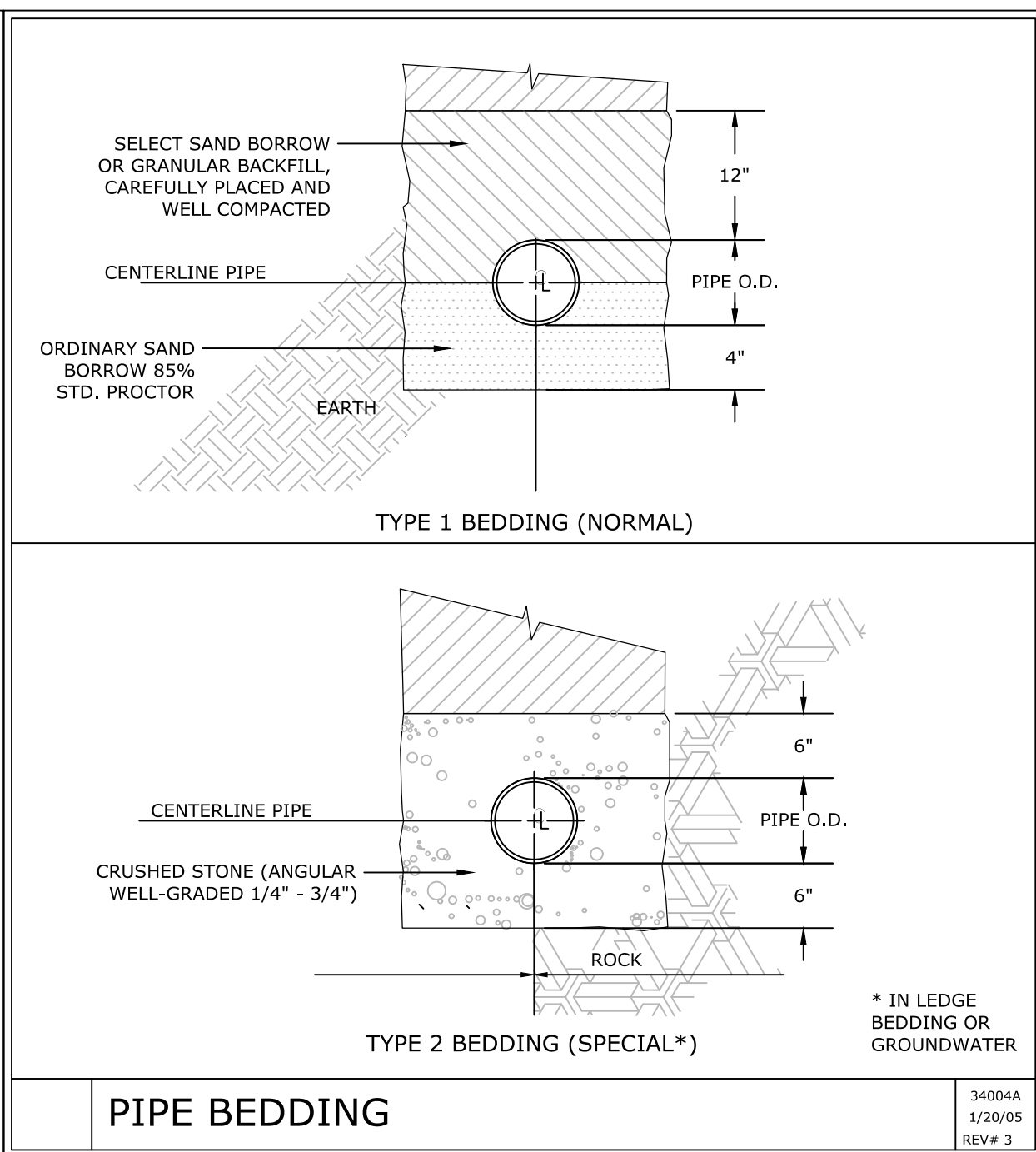
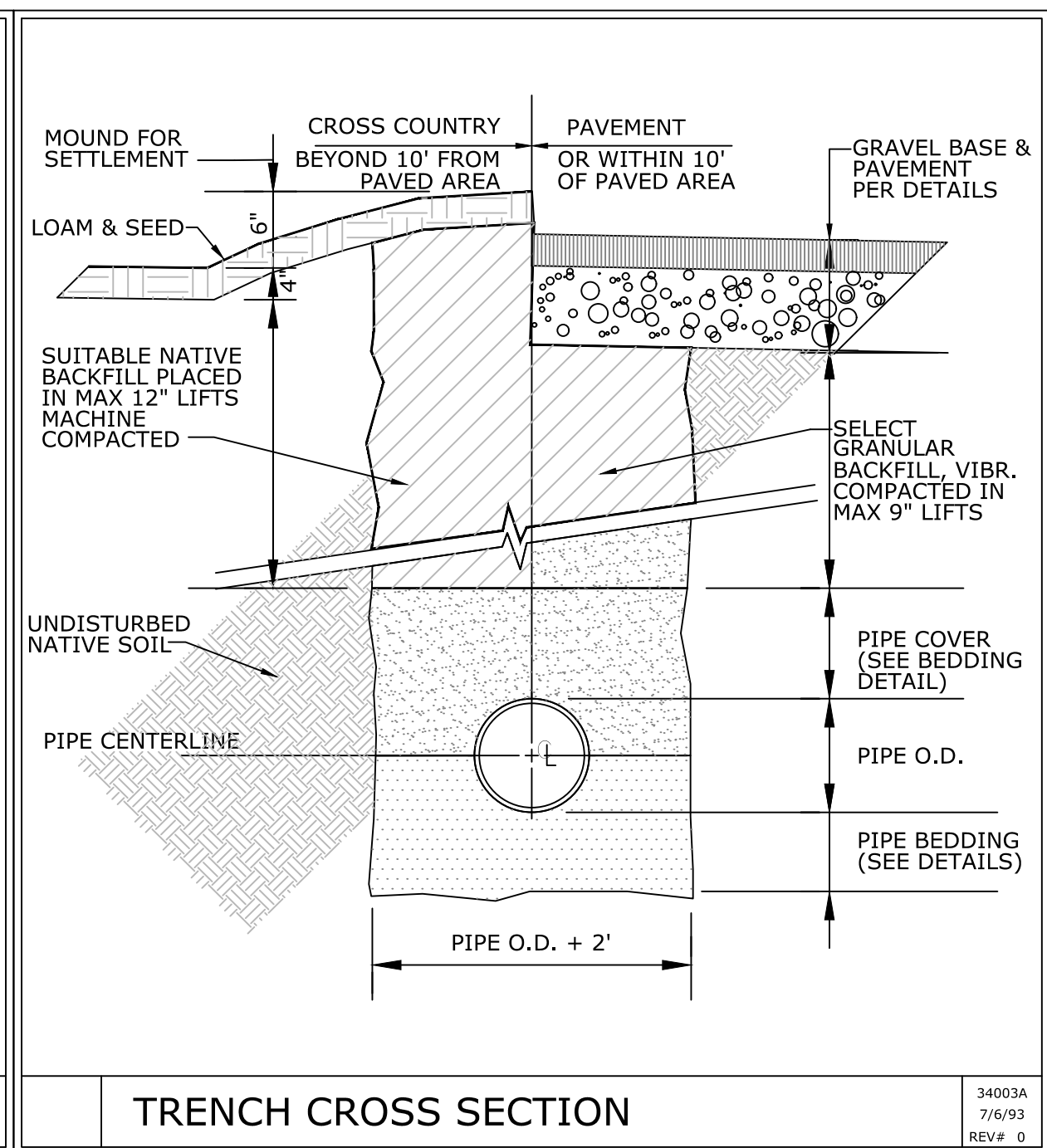
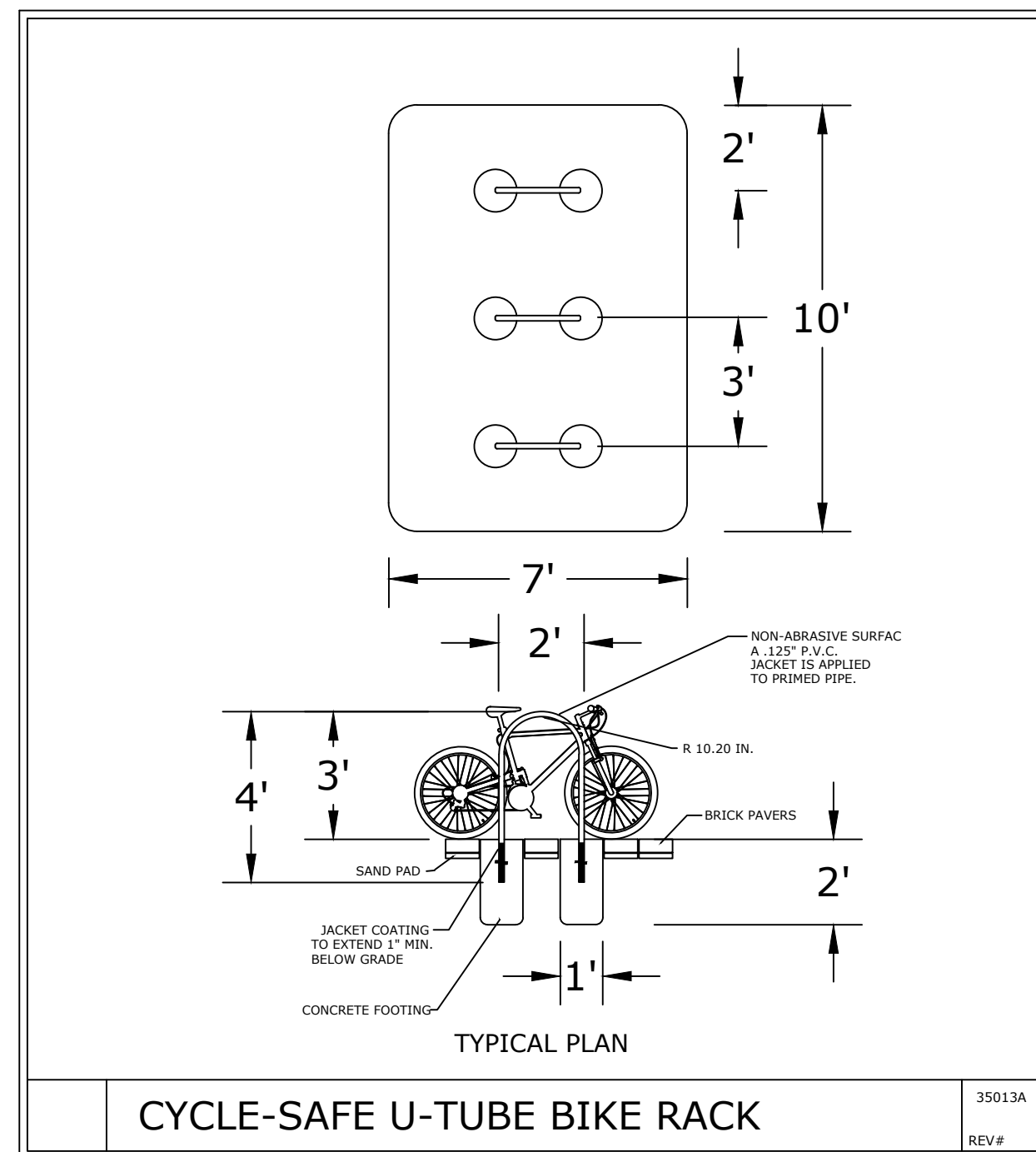


PRELIMINARY

NO.	DATE	REVISION/ISSUE	BY
8-8-23		ISSUE FOR SPECIAL PERMIT	SAM

SHEET TITLE	PROJECT NO.
PROPOSED SITE DETAILS	E3122
PROJECT TITLE	SCALE
HOUSATONIC SCHOOL Pleasant Street Housatonic, Massachusetts	N/A
DESIGNED BY	DATE
SAM	4/28/2023
DRAWN BY	CHECKED BY
SCT	
CHECKED BY	SHEET NO.
	C-4
	OF SHEETS
	43122004

FORESIGHT LAND SERVICES		ENGINEERING SURVEYING PLANNING	
FORESIGHT LAND SERVICES, INC. 1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201 TEL: (413) 499-1260 FAX: (413) 499-3307 WWW.FORESIGHTLAND.COM			



PRELIMINARY

NO.	8-8-23	DATE	ISSUE FOR SPECIAL PERMIT	REVISION/ISSUE	SAM	BY
SHEET TITLE	PROPOSED SITE DETAILS				PROJECT NO.	E3122
PROJECT TITLE	HOUSATONIC SCHOOL Pleasant Street Housatonic, Massachusetts				SCALE	N/A
					DATE	4/28/2023
					DESIGNED BY	SAM
					DRAWN BY	SCT
					CHECKED BY	
FORESIGHT LAND SERVICES ENGINEERING SURVEYING PLANNING FORESIGHT LAND SERVICES, INC. 1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201 TEL: (413) 499-1260 FAX: (413) 499-3307 WWW.FORESIGHTLAND.COM					SHEET NO.	C-4.1
					OF SHEETS	43122004

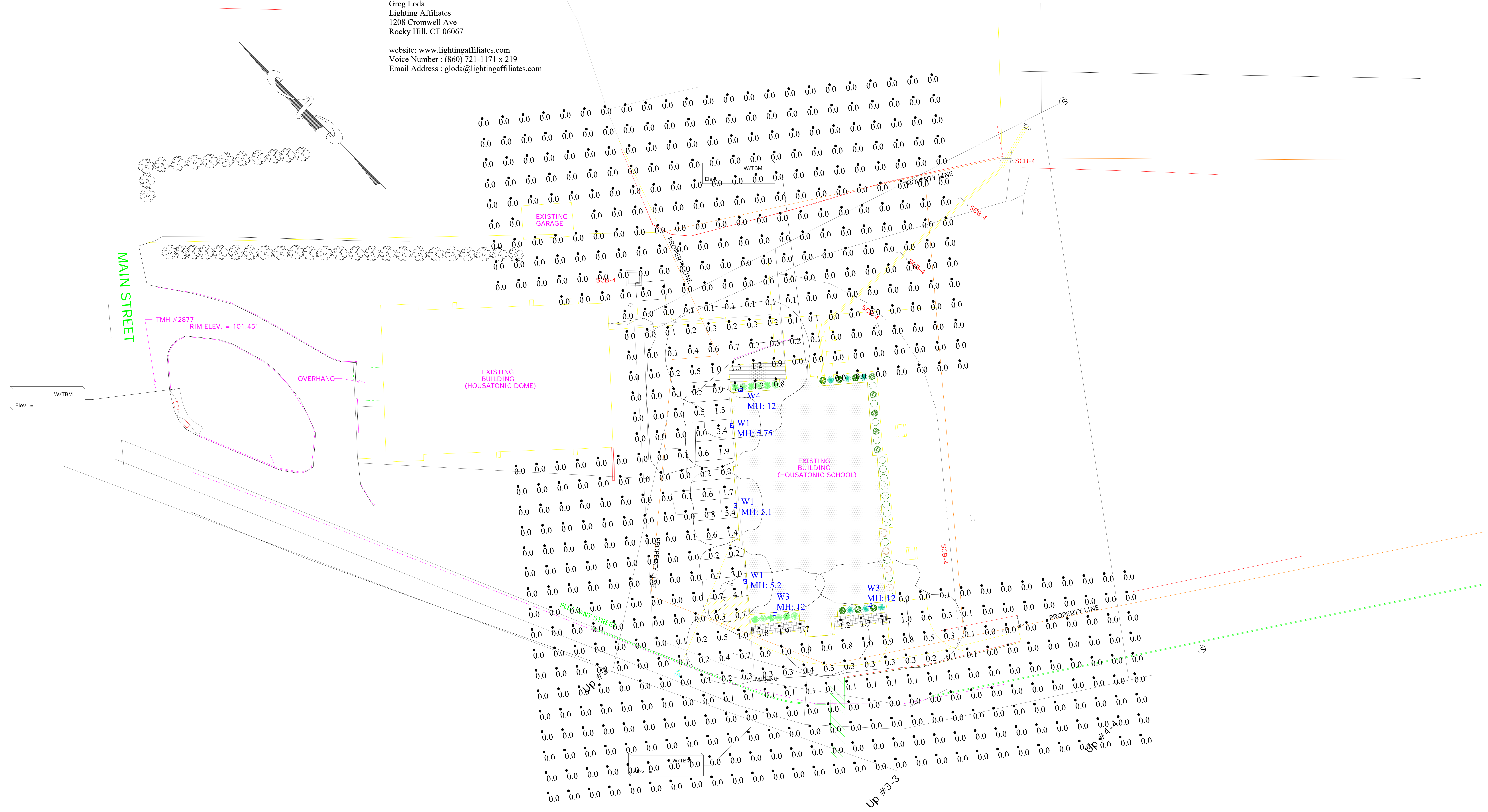
Filename: Housatonic School - Site Lighting - Great Barrington - REV 2.AGI

Luminaire Schedule								
Symbol	Qty	Label	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
□	3	W1	1186	11.1658	1.000	B0-U0-G1	5.1, 5.2, 5.75	Lithonia WDGE2 LED P1 30K 80CRI TFTM MVOLT SRM PIR DBLXD
□	2	W3	1964	18.9815	1.000	B1-U0-G1	12	Lithonia WDGE2 LED P2 30K 80CRI T3M MVOLT SRM PIR DBLXD
□	1	W4	1933	18.9815	1.000	B1-U0-G1	12	Lithonia WDGE2 LED P2 30K 80CRI TFTM MVOLT SRM PIR DBLXD

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	Illuminance	Fe	0.11	5.4	0.0	N.A.	N.A.	
PARKING	Illuminance	Fe	0.56	5.4	0.0	N.A.	N.A.	

Greg Loda
 Lighting Affiliates
 1208 Cromwell Ave
 Rocky Hill, CT 06067

website: www.lightingaffiliates.com
 Voice Number : (860) 721-1171 x 219
 Email Address : gloda@lightingaffiliates.com





WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic

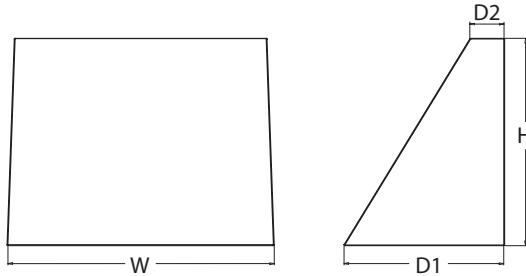


Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs (without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0 ¹	27K 2700K	70CRI ⁴	T1S Type I Short	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.
	P1 ²	30K 3000K	80CRI	T2M Type II Medium	347 ⁵	
	P2 ²	40K 4000K	LW ³ Limited Wavelength	T3M Type III Medium	480 ⁵	
	P3 ²	50K 5000K		T4M Type IV Medium		
	P4 ²	AMB ³ Amber		TFTM Forward Throw Medium		

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min) E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) PE⁷ Photocell, Button Type DMG⁸ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points. BAA Buy America(n) Act Compliant	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBL BXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
Standalone Sensors/Controls PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

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WDGE2 LED
Rev. 11/21/22

Accessories

Ordered and shipped separately.

- WDGEAWS DDBXD W DGE 3/8inch Architectural Wall Spacer (specify finish)
- WDGE2P8BW DDBXD U W DGE2 surface-mounted back box (specify finish)

NOTES

- 1 PO option not available with sensors/controls.
- 2 P1-P4 not available with AMB and LW.
- 3 AMB and LW always go together.
- 4 70CRI only available with T3M and T4M.
- 5 347V and 480V not available with E10WH or E20WC.
- 6 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 7 PE not available in 480V or with sensors/controls.
- 8 DMG option not available with sensors/controls.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)					Amber (Limited Wavelength)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
P1	11W	T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
		T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
P2	19W	T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1					
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1					
		T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1					
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1					
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1					
P3	32W	T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1					
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1					
		T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1					
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1					
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1					
P4	47W	T1S	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1					
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1					
		T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1					
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1					
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1					

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)									
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G					
P0	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1					
		T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1					
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1					
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1					
P2	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1					
		T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1					
P3	32W	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1					
		T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1					
P4	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2					
		T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2					



Electrical Load

Performance Package	System Watts	Current (A)					
		120Vac	208Vac	240Vac	277Vac	347Vac	480Vac
P0	7.0	0.061	0.042	0.04	0.039	--	--
	9.0	--	--	--	--	0.031	0.021
P1	11.0	0.100	0.064	0.059	0.054	--	--
	14.1	--	--	--	--	0.046	0.031
P2	19.0	0.168	0.106	0.095	0.083	--	--
	22.8	--	--	--	--	0.067	0.050
P3	32.0	0.284	0.163	0.144	0.131	--	--
	37.1	--	--	--	--	0.107	0.079
P4	47.0	0.412	0.234	0.207	0.185	--	--
	53.5	--	--	--	--	0.153	0.112

Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
E10WH	1,358
E20WC	2,230

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C / 32°F	1.03
10°C / 50°F	1.02
20°C / 68°F	1.01
25°C / 77°F	1.00
30°C / 86°F	0.99
40°C / 104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.87

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WEDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc

MH = 10ft
 Grid = 10ft x 10ft



Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

Control / Sensor Options

Motion/Ambient Sensor (PIR, PIRH)

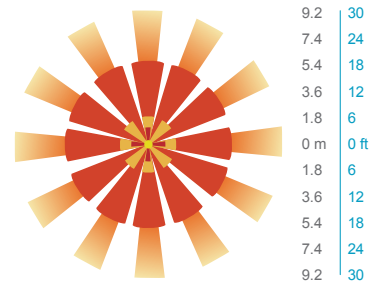
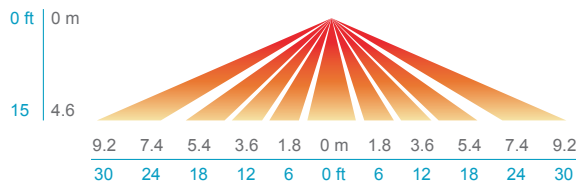
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

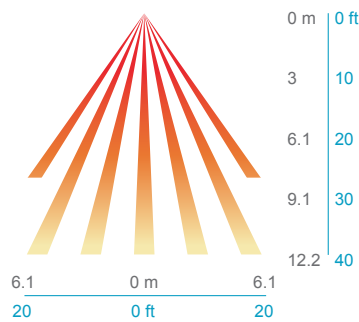
PIR

HIGH VIEW

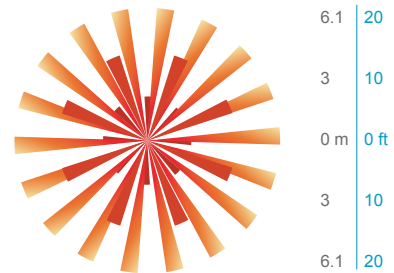


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec

Mounting, Options & Accessories



Motion/Ambient Sensor

D = 7"

H = 9" (Standalone controls)

11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)

W = 11.5"



PBBW – Surface-Mounted Back Box

Use when there is no junction box available.

D = 1.75"

H = 9"

W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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CONSULTANTS

BRADLEY ARCHITECTS, INC.
ARCHITECTS, AIA
8 Bank Row, Pittsfield, MA

ADAPTIVE REUSE OF THE
FORMER HOUSATONIC SCHOOL
SPECIAL PERMIT SET
JULY 31, 2023

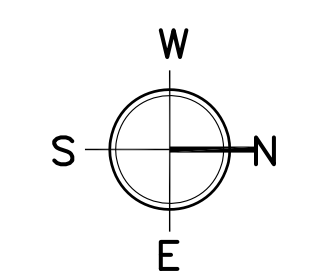
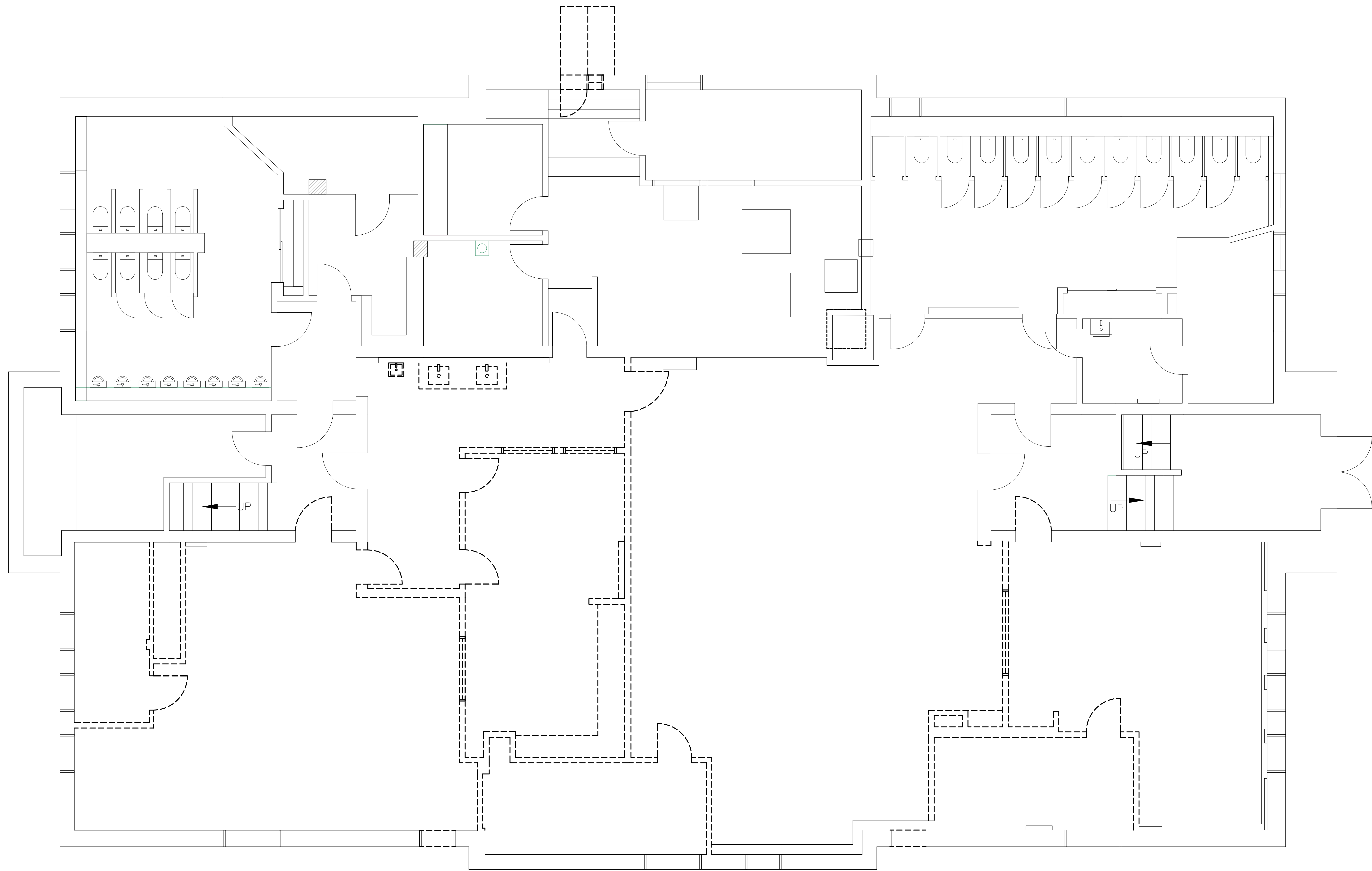
WDM PROPERTIES, LLC
37 MAIN STREET, SUITE 202
NORTH ADAMS, MA

PROJECT:
TITLE PAGE

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
TITLE PAGE

DATE: 7-31-2023
DRAWN BY: REH
CHK. BY:
DWG. NO.: T.1



1 Basement Plan
SCALE: 1/4" = 1'-0"

PROJECT:
**BASEMENT FLOOR
DEMO PLAN**

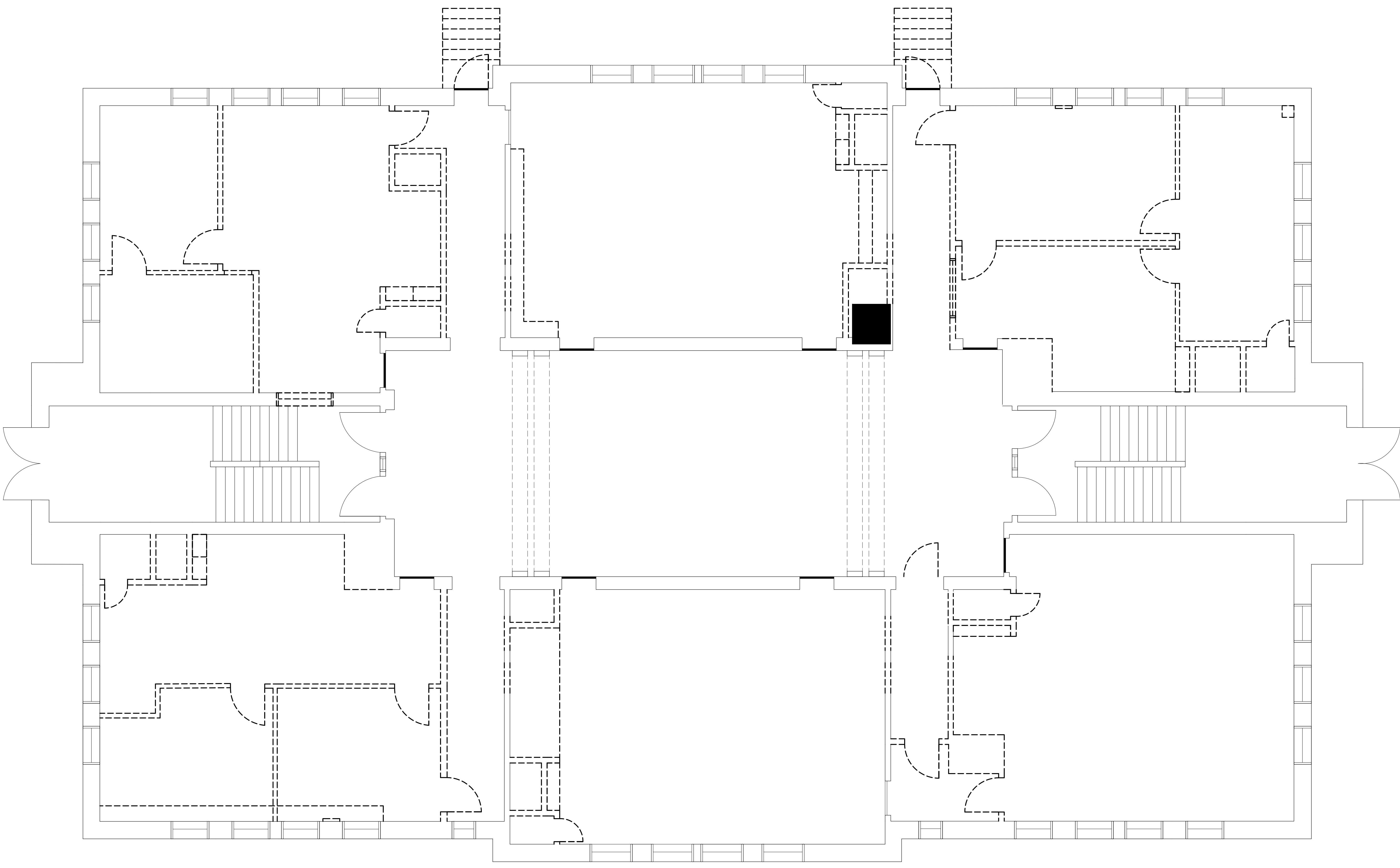
FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
**BASEMENT FLOOR
DEMO PLAN**

DATE:	7-31-2023
DRAWN BY:	REH
CHK. BY:	
DWG. NO.:	R1.0



8 BANK ROW
PITTSFIELD, MA 01201
413 448 8253
CONSULTANTS



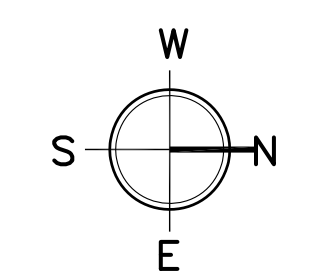
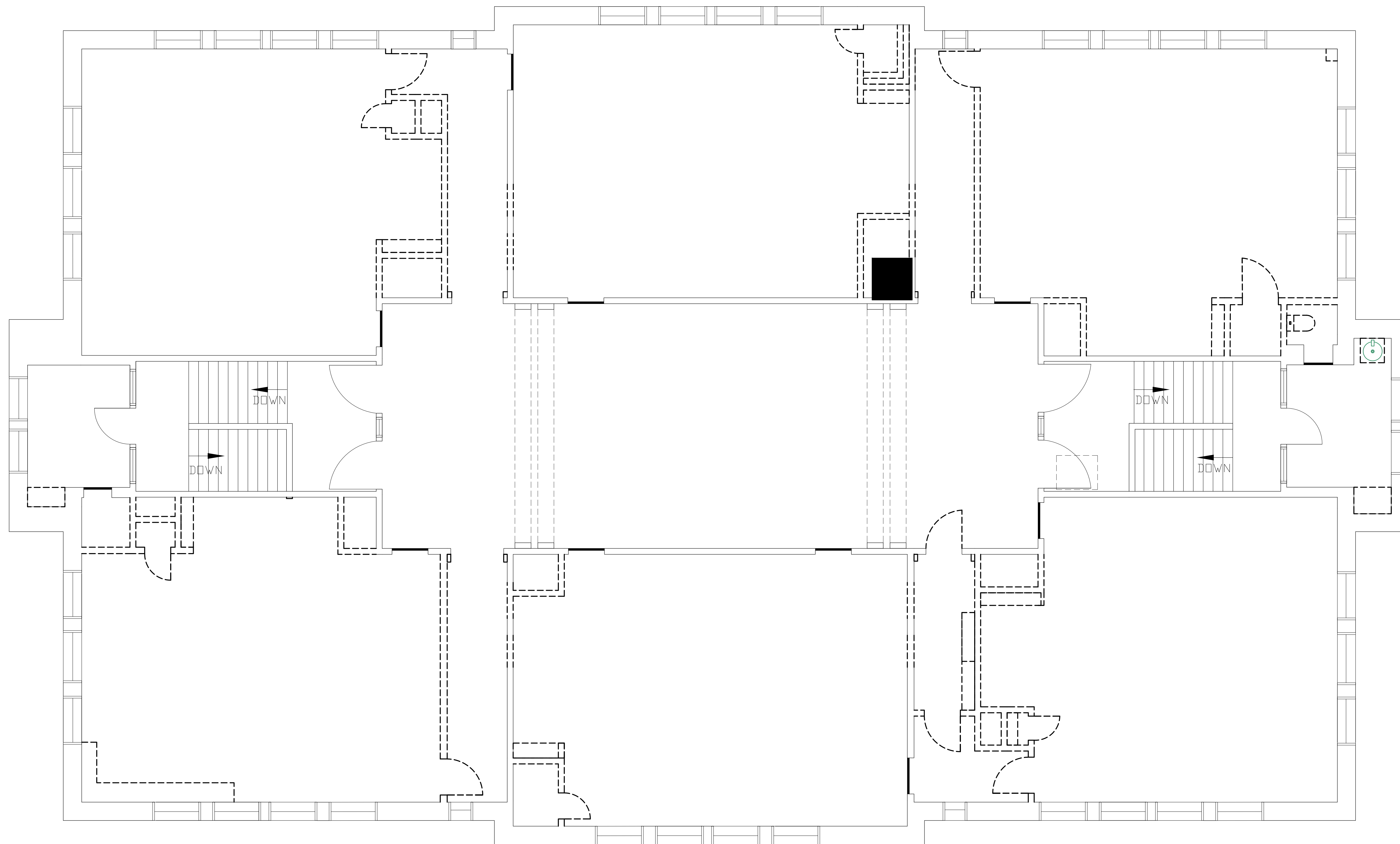
PROJECT:
**FIRST FLOOR
DEMO PLAN**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
FIRST FLOOR DEMO PLAN

DATE: 7-31-2023
DRAWN BY: REH
CHK. BY:
DWG. NO.: **R1.1**

1 First Floor Demo Plan
SCALE: 1/4" = 1'-0"



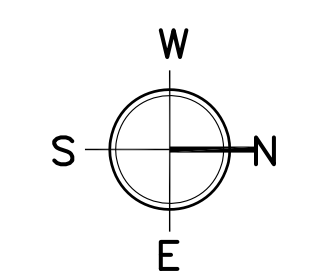
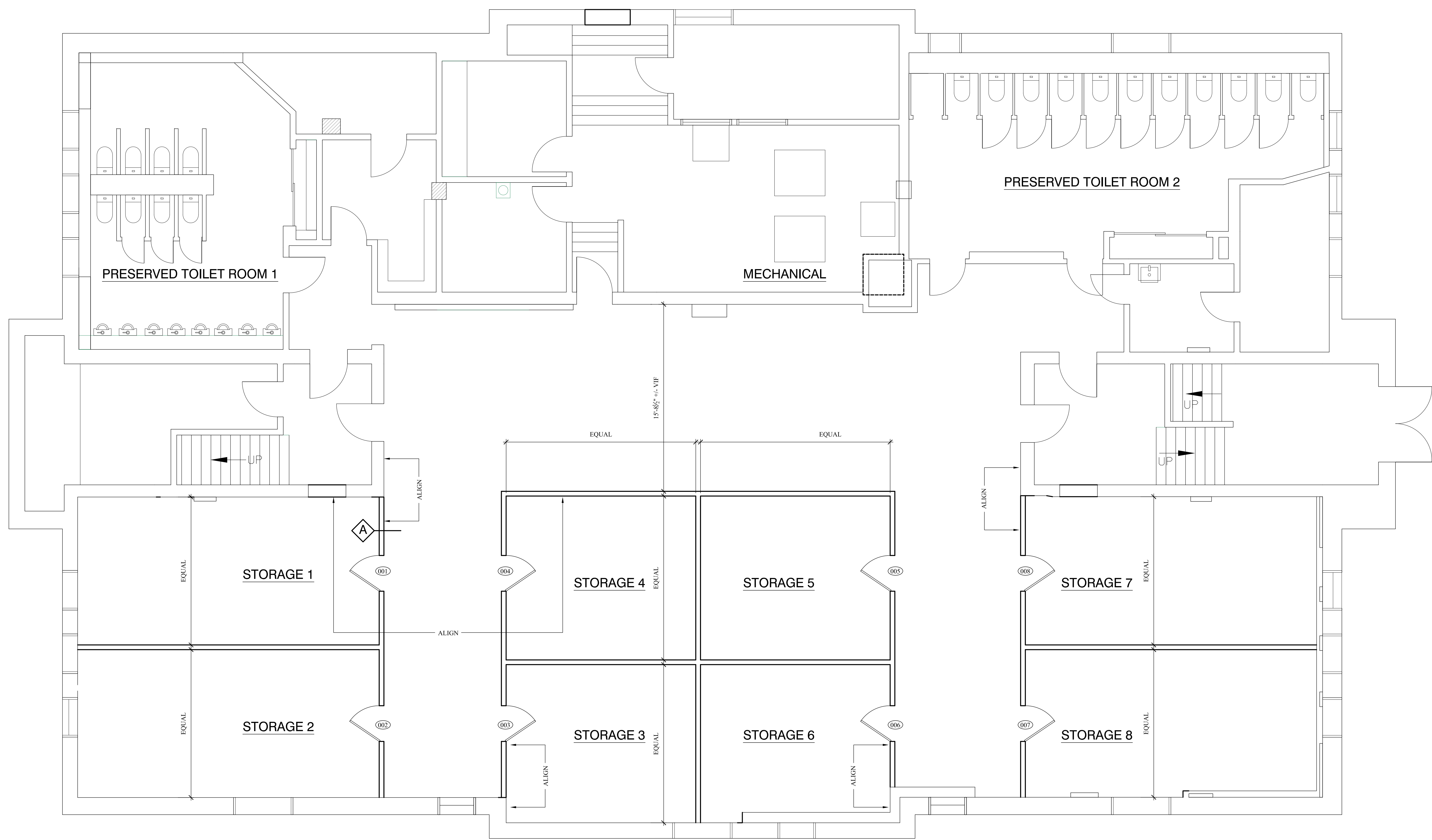
1 Second Floor Demo Plan
SCALE: 1/4" = 1'-0"

PROJECT:
**SECOND FLOOR
DEMO PLAN**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
SECOND DEMO FLOOR PLAN

DATE:	7-31-2023
DRAWN BY:	REH
CHK. BY:	
DWG. NO.:	R1.2



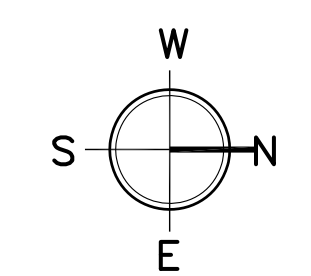
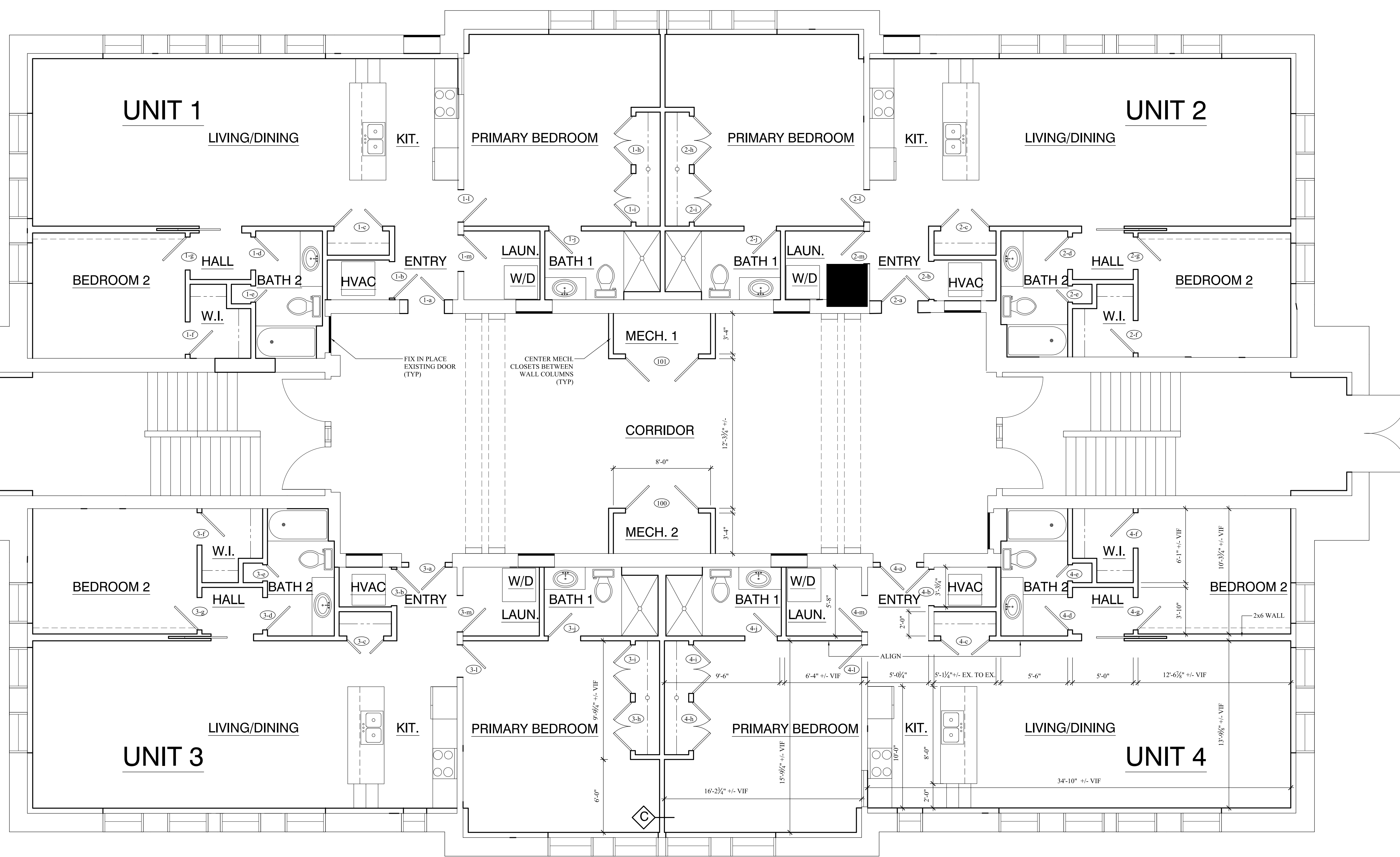
1 Basement Plan
SCALE: 1/4" = 1'-0"

PROJECT:
BASEMENT FLOOR PLAN

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
BASEMENT FLOOR PLAN

DATE:	7-31-2023
DRAWN BY:	REH
CHK. BY:	
DWG. NO.:	A1.0



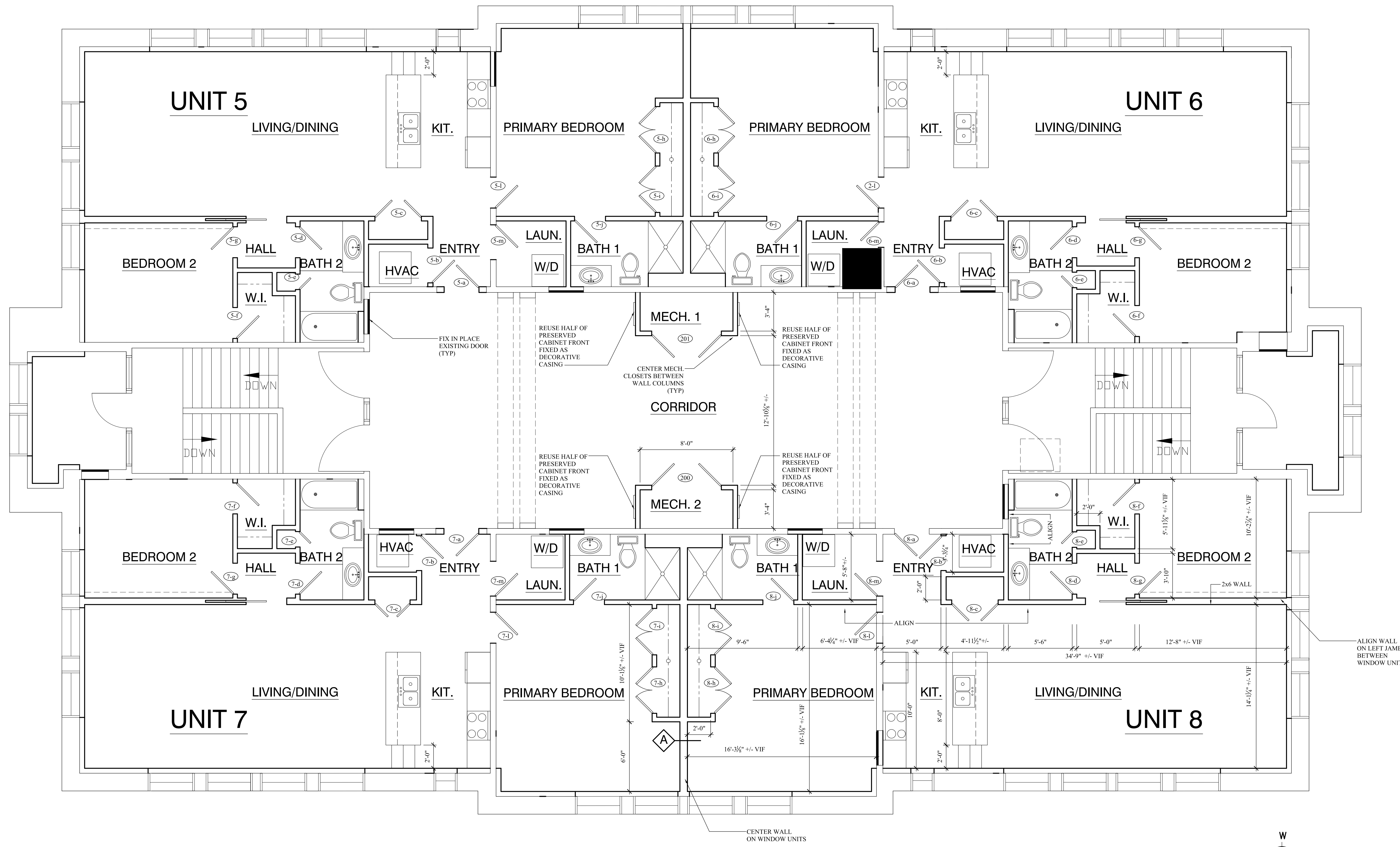
1 First Floor Plan
SCALE: 1/4" = 1'-0"

PROJECT:
FIRST FLOOR PLAN

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
FIRST FLOOR PLAN

DATE: 7-31-2023
DRAWN BY: REH
CHK. BY:
DWG. NO.:
A1.1



1 Second Floor Plan
SCALE: 1/4" = 1'-0"

PROJECT:
SECOND FLOOR PLAN

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
SECOND FLOOR PLAN

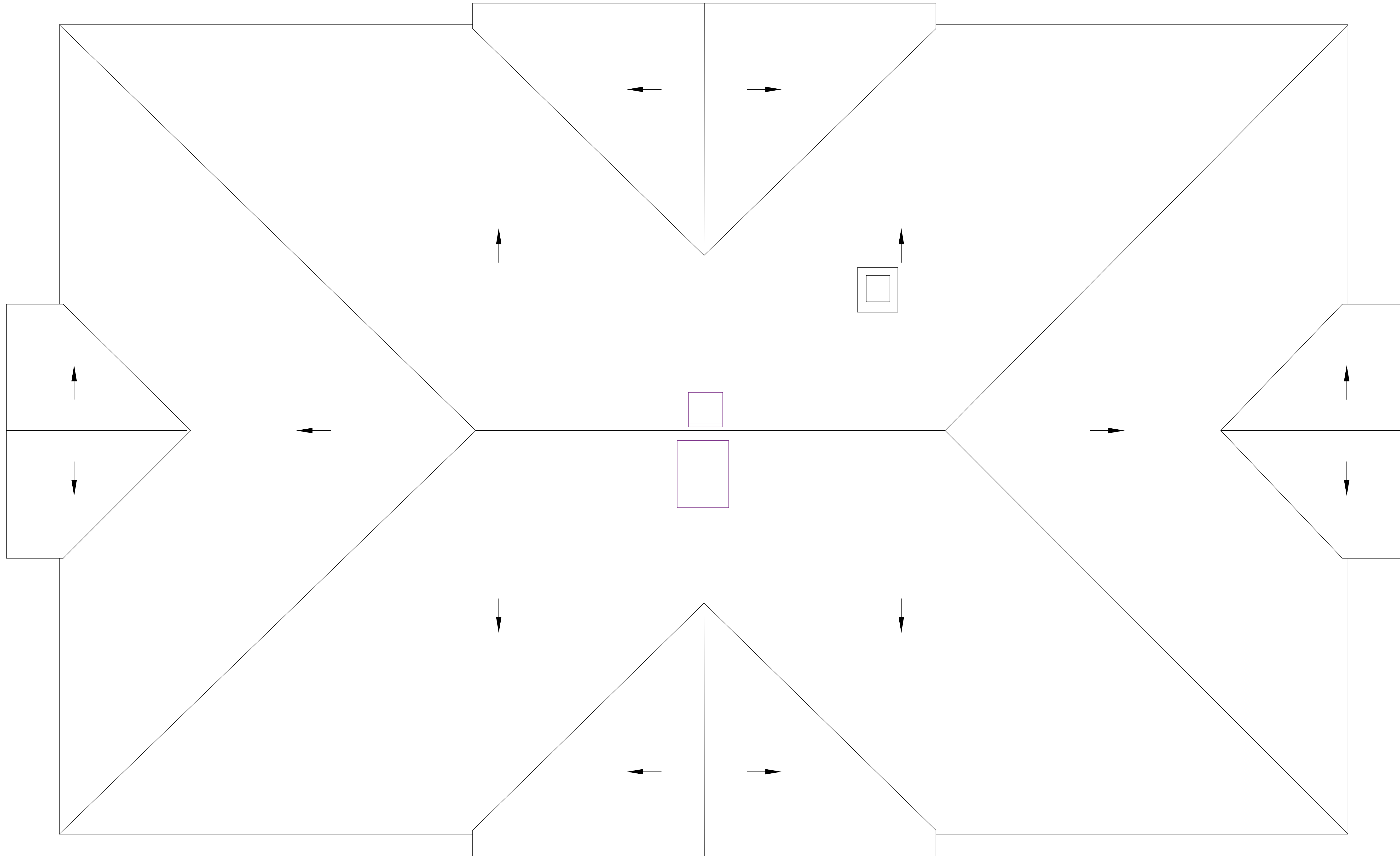
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DRAWN BY: REH
CHK. BY:
DWG. NO.:

A1.2

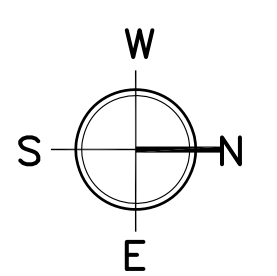
ARCHITECTS INC.



8 BANK ROW
PITTSFIELD, MA 01201
413 448 8253
CONSULTANTS



1 Roof Plan
SCALE: 1/4" = 1'-0"



PROJECT:
ROOF PLAN

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
ROOF PLAN

DATE: 7-31-2023
DRAWN BY: REH
CHK. BY:
DWG. NO.:
A1.3



1 South Elevation Demo
SCALE: 1/4" = 1'-0"

PROJECT:
**SOUTH
ELEVATION
DEMO**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
**SOUTH ELEVATION
DEMO**

DATE: 7-31-2023
DRAWN BY: REH
CHK. BY:
DWG. NO.:
R2.0



1 West Elevation Demo
SCALE: 1/4" = 1'-0"

PROJECT:
**WEST
ELEVATION
DEMO**
FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA
DWG. TITLE:
**WEST ELEVATION
DEMO**

DATE:	7-31-2023
DRAWN BY:	REH
CHK. BY:	
DWG. NO.:	R2.1

ARCHITECTS INC.



8 BANK ROW
PITTSFIELD, MA 01201
413 448 8253
CONSULTANTS



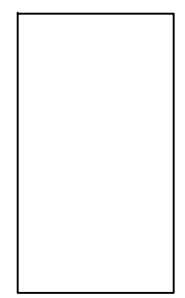
1 North Elevation Demo
SCALE: 1/4" = 1'-0"

PROJECT:
**NORTH
ELEVATION
DEMO**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
**NORTH ELEVATION
DEMO**

DATE: 7-31-2023
DRAWN BY: REH
CHK. BY:
DWG. NO.: **R2.2**



1 East Elevation Demo
SCALE: 1/4" = 1'-0"

PROJECT:
**EAST
ELEVATION
DEMO**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
**EAST ELEVATION
DEMO**

DATE:	7-31-2023
DRAWN BY:	REH
CHK. BY:	
DWG. NO.:	A2.3

ARCHITECTS INC.



8 BANK ROW
PITTSFIELD, MA 01201
413 448 8253
CONSULTANTS



1 South Elevation
SCALE: 1/4" = 1'-0"

PROJECT:

**SOUTH
ELEVATION**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:

**SOUTH ELEVATION
PROPOSED**

DATE: 7-31-2023

DRAWN BY: REH

CHK. BY:

DWG. NO.:

A2.0



1 West Elevation
SCALE: 1/4" = 1'-0"

PROJECT:

**WEST
ELEVATION**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:

**WEST ELEVATION
PROPOSED**

DATE: 7-31-2023

DRAWN BY: REH

CHK. BY:

DWG. NO.:

A2.1

ARCHITECTS INC.



8 BANK ROW
PITTSFIELD, MA 01201
413 448 8253
CONSULTANTS



1 North Elevation
SCALE: 1/4" = 1'-0"

PROJECT:

**NORTH
ELEVATION**

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:

**NORTH ELEVATION
PROPOSED**

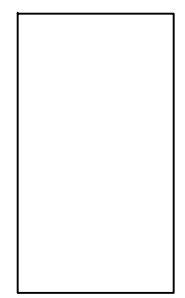
DATE: 7-31-2023

DRAWN BY: REH

CHK. BY:

DWG. NO.:

A2.2



1 East Elevation
SCALE: 1/4" = 1'-0"

PROJECT:
EAST ELEVATION

FORMER
HOUSATONIC SCHOOL
201 PLEASANT STREET
HOUSATONIC, MA

DWG. TITLE:
EAST ELEVATION PROPOSED

DATE:	7-31-2023
DRAWN BY:	REH
CHK. BY:	
DWG. NO.:	A2.3

RECOMMENDATIONS FROM OTHER BOARDS

Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619
Fax: (413) 528-2290



TOWN OF GREAT BARRINGTON
MASSACHUSETTS

PLANNING BOARD

September 5, 2023

Selectboard
Town Hall 334 Main Street
Great Barrington, MA 01230

Re: Special Permit:
207 Pleasant Street

Dear Members of the Selectboard:

At its meeting of August 24, 2023 the Planning Board voted to send a positive recommendation on the special permit application for WDM Properties for a multi-unit residential redevelopment in the former Housatonic School 207 Pleasant Street in Housatonic.

Thank you for your consideration of this recommendation.

Sincerely,

Kimberly L. Shaw

Kimberly L. Shaw
Planning Board Secretary

Cc: Chris Rembold, Assistant Town Manager/Director of Planning and Community
Development

Shepley Evans
Conservation Agent

E-mail: conservation@townofgb.org
www.townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619 ext. 122
Fax: (413) 528-2290

TOWN OF GREAT BARRINGTON MASSACHUSETTS

CONSERVATION COMMISSION

August 23, 2023

Great Barrington Selectboard
Town Hall, 334 Main Street
Great Barrington, MA 01230

Re: Special Permit and Site Plan Review application # 938-23 from WDM Properties, c/o David Carver, 37 Main Street, Suite 202, North Adams, MA 01247 for an 8-unit multiunit residential redevelopment in the former Housatonic School at 207 Pleasant Street, Housatonic, MA 01236.

Dear Selectboard:

The Conservation Commission has reviewed the Special Permit and Site Plan Review application from WDM Properties. It has conducted a site visit around the former Housatonic School campus and surrounding neighborhood, and has reviewed all available environmental resource maps and Mass GIS aerial imagery. The Commission finds no Wetland or Scenic Mountain jurisdictional issues associated with the proposed redevelopment of the school.

Respectfully,

Shepley W. Evans
Conservation Agent

Michael Lanoue, Chair
Peter Stanton, Vice Chair
Ruby Chang, M.D.
www.townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Phone: 413-528-0680
rjurczyk@townofgb.org

TOWN OF GREAT BARRINGTON MASSACHUSETTS

BOARD OF HEALTH

September 14, 2023

Special Permit #938-23; Special Permit and Site Plan Review application from WDM Properties, c/o David Carver, 37 Main Street, Suite 202, North Adams, MA 01247, for an 8-unit multiunit residential development in the former Housatonic School at 207 Pleasant Street, Housatonic, MA 01236. Application is filed in accordance with Sections 3.1.4 A(3), 8.3, 9.9, 10.4, and 10.5 of the Zoning Bylaw.

Dear Selectboard:

The Board of Health reviewed this Special Permit application during the September 7, 2023 Board of Health Meeting. The Board asked questions related to the Building Water filtration System and Asbestos remediation. The engineer provided satisfactory information and answers to all questions.

Peter Stanton: Motion to Recommend this Special Permit to the Selectboard
Dr. Chang: Second
Vote: 3-0

Sincerely,
Rebecca Jurczyk
GB BOH Agent

EXHIBIT A

FINDINGS OF FACT AND BASIS FOR DECISION

**Re: Special Permit #938-23
Redevelopment of the former Housatonic School**

A. Introduction

This Special Permit application was filed on August 11, 2023 by WDM Properties (“applicant” or “WDM”) for permission to redevelop the former Housatonic School building at 207 Pleasant Street in Housatonic into eight two-bedroom residential apartments. The proposed use requires a Special Permit from the Selectboard per Sections 3.1.4 A(3), 8.3, and 10.4 of the Zoning Bylaw.

The site is currently owned by the Town and is the subject of a Request for Proposals process that concluded in 2022. As part of their response to the RFP, the applicant proposed to redevelop the property, restore the building’s exterior, and renovate the upper two floors for residential apartments for rent at not more than 100 percent of the Area Median Income. On December 19, 2022 the Selectboard voted to award the site to WDM.

The special permit application includes a narrative and description of the project, including existing and proposed site conditions, public services and utilities, traffic impacts, and its compliance with the zoning bylaws. Architectural plans, dated 7/31/23 prepared by Bradley Architects, are included and show the proposed renovations of the interior and historical preservation of the exterior. Engineering plans, dated 4/28/23 and prepared by Foresight Land Services, are included show existing and proposed site conditions such as parking, landscaping, lighting, and utilities.

B. General Findings

The property is prominently located in the center of the Village of Housatonic. The current structure was built in 1907 and served as an elementary school until approximately 2003. The building has three levels, with approximately 21,680 square feet of gross floor area, and sits on a 0.65 acre parcel located at 207 Pleasant Street.

As described in the application and as shown on the accompanying plans the proposed project will renovate the old school building, creating eight new residential apartments. The zoning for is Housatonic Village Center (HVC) under which the proposed multi-unit residential use requires a Special Permit.

The building is approved as eligible to be listed on the National Register of Historic Places, but it is not officially listed at this time. Nevertheless the applicant will preserve or restore the exterior of the building in accordance with historical standards, including, for example, restoring the historic windows.

The driveway along the east side of the building and the rear of the building will be removed and replaced with landscaping as shown on Sheet C-2 of the accompanying site plans. Utilities including electrical and HVAC units will be located outside at the rear of the building. While the parking requirements in the HVC zone are relaxed compared to other zones, and only eight spaces are required, 15 spaces will be provided, one of which will be designated for handicapped parking. All of the spaces will be dedicated for use by the residents of the building. The parking

will be along the west side of the building, accessed by the curb cut from Pleasant Street. A bicycle rack is also proposed. Traffic impacts are projected to be just 53 trips per day, much less than traffic generated by the previous school use.

The access from Pleasant Street also serves the parking for the Housatonic Community Center. The applicant seeks to share this access with the Town. This will allow for the driveway on the east side of the building to be removed, as described above. As part of the site work, the parking area will be repaved, and the applicant proposes to regrade and repave a portion of the area owned by the Town. The community's winter salt storage area will be removed in this process, and a new dumpster area will be installed to serve both the Community Center and the former school. The applicant proposes a shared access and use agreement which would allow access to the area.

The building will utilize the water utility and the Town's sewer system. Compared to the previous school usage, the proposed use would have less usage. New service piping will be installed from the mains to the building. Some of the utilities including electric and sewer will be located across the town-owned community center site and the northeast corner of the park, as shown on the plans.

Section 8.3 of the Zoning Bylaw sets forth certain locational, physical and regulatory requirements for new multiunit residential developments. As described in the application narrative, all applicable requirements are met except for the amount of permeable open space on the lot. However the applicant is proposing to remove a significant area of asphalt, and thereby greatly increase the amount of permeable open space from the existing condition.

Section 9.9 of the Zoning Bylaw sets forth the requirements of the Housatonic Village Center zone. As described in the application narrative, all applicable requirements are met.

The Planning Board reviewed the Special Permit and made a positive recommendation to the Selectboard. The Board of Health also made a positive recommendation to the Selectboard. The Conservation Commission determined are no wetland or scenic mountain jurisdictional issues.

C. Special Permit Criteria and Findings

Section 10.4.2 of the Zoning Bylaw, granting of a special permit requires a written determination by the Special Permit Granting Authority "that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site." This determination shall include consideration of the following six criteria:

1. Social, economic, or community needs which are served by the proposal;
2. Traffic flow and safety, including parking and loading;
3. Adequacy of utilities and other public services;
4. Neighborhood character and social structures;
5. Impacts on the natural environment; and,
6. Potential fiscal impact, including impact on town services, tax base, and employment.

Consideration of the Criteria and the Selectboard's findings for this application are as follows:

1. *Social, economic, or community needs which are served by the proposal.*
The Selectboard finds the proposal advances important goals of the Master Plan: adaptive reuse of the former school, historic preservation, and the creation of additional housing options. The apartments will be affordable at 100% of the area median income, providing reasonably priced housing options in Town. The historic restoration of the building will preserve an iconic building in the center of the village.
2. *Traffic flow and safety, including parking and loading.*
The Selectboard finds that the proposal will have no negative impact on traffic flow or safety and that sufficient parking will be provided. To facilitate cooperative use of the area between the redeveloped school and the town-owned Community Center, WDM will enter into an access easement or similar agreement with the Town if necessary.
3. *Adequacy of utilities and other public services.*
The Selectboard finds that the proposed use will have no detrimental impact on the public water or public sewer systems. Since some of the utilities including electric and sewer will be located across the town-owned community center site and the park, WDM will enter into easements or similar agreements with the Town if necessary.
4. *Neighborhood character and social structures.*
The Selectboard finds the proposal is in an HVC zone, where the proposed use may be allowed by special permit. The proposal will maintain the architectural character of the building and the neighborhood, and the residential use is in keeping with the neighborhood. The green space proposed on the east side of the building will complement the open space character of the adjacent village park.
5. *Impacts on the natural environment.*
The Selectboard finds that the proposed removal of pavement and installation of new landscaping will have a beneficial impact on the environment. The building will be made more energy efficient which will benefit the environment.
6. *Potential fiscal impact, including impact on town services, tax base, and employment.*
The Selectboard finds the proposal will have fiscal benefits for the Town. It will result in taxable real estate on a currently tax-exempt (municipal) property, and will increase housing for the workforce, supporting the local economy.

Finding:

In consideration of the above Findings, this Selectboard finds that the benefits of the proposal outweigh detrimental impacts.

D. Proposed Conditions

**SPECIAL PERMIT
WDM Properties
Housatonic School Redevelopment**

SP # 938-23

WDM Properties, c/o David Carver, 37 Main Street, Suite 202, North Adams, MA 01247, for an 8-unit multiunit residential redevelopment in the former Housatonic School at 207 Pleasant Street, Housatonic, MA 01236. Application is filed in accordance with Sections 3.1.4 A(3), 8.3, 9.9, 10.4 and 10.5 of the Zoning Bylaw.

DRAFT MOTIONS

(If the Board has amended the Findings based on the Public Hearing and its discussion, be sure to specify those changes and approve the findings "as amended.")

1. VOTE ON FINDINGS

I move to approve the Findings of Fact for Special Permit #938-23, as **written** / as **amended** and referenced as Exhibit A.

Second: _____

Roll call vote: Elliott _____ Gabriel _____ Reed _____
Davis _____ Bannon _____

2. VOTE ON THE SPECIAL PERMIT

I move, in view of the approved Findings of Fact, to **approve** Special Permit #938-23 for WDM Properties, c/o David Carver, for an 8-unit multiunit residential redevelopment in the former Housatonic School at 207 Pleasant Street, Housatonic.

with the following conditions if any:

Second: _____

Roll call vote: Elliott _____ Gabriel _____ Reed _____
Davis _____ Bannon _____

Memorandum

To: Great Barrington Selectboard Members
From: Leigh Davis
Date: September 13, 2023
Re: Proposed Special Act on Property Transfer Fees

I request that the Great Barrington Selectboard consider including a proposed Special Act establishing a real estate transfer fee upon the transfer of real property in the Town of Great Barrington to the Special Town Meeting Warrant planned for October 23, 2023.

We currently find ourselves with a need to protect and expand affordable and workforce housing. To do this, we must pursue bold and creative avenues for revenue generation without causing further challenges to those seeking to buy average-priced homes in Great Barrington.

Under current state law, the Town of Great Barrington cannot institute a transfer fee without the approval of the State Legislature. Therefore, I am first seeking the consent of the Great Barrington Selectboard to include a Home Rule Petition article on the Special Town Meeting Warrant. If Town Meeting votes in the affirmative, the Special Act will go to the Legislature to be filed. If the Legislature approves, we will have the opportunity at that time to craft the bylaw that will guide the implementation and regulation of the fee. This bylaw will then need to be passed at Town Meeting.

The proposed Special Act would allow the town to impose an up to 2% property transfer fee on select properties in town. The proposed bylaw that would subsequently be written would allow the town to impose a 1% transfer fee on the sale of properties exceeding a purchase price of \$1 million, subject to a number of exemptions. This approach gives Town Meeting the authority to regulate the proposed fee by bylaw instead of locking the Town into set parameters at the state level. It also allows flexibility to assess metrics and adjust in the future if needed.

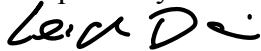
Proposal Highlights: A 1% Fee will be applied to all real estate transactions exceeding a purchase price of \$1 million. After the first year, the \$1 million threshold will annually be adjusted to reflect the Consumer Price Index for the area, thereby protecting homeowners as their nest eggs grow. The Fee will be split between the buyer and seller; each is responsible for one-half of one percent of the sale price. Fee revenue would replenish the Affordable Housing Trust Fund each year, providing a reliable annual revenue stream to leverage additional funds and better plan strategically. Exempt from the fee shall be, among other things, transfers between family members, transfers for a value of less than \$100, transfers as a result of marital dissolution, transfers between governmental units, and transfers for affordable housing. Annual Reports will detail Transfer Fee revenue and housing impacts.

A Case For A Special Town Meeting Vote: The timing of an October vote is critical. With worsening housing costs and unaffordability trends, Governor Healey is anticipated to introduce an omnibus housing bill this fall, including language for all pending Real Estate Transfer Fee Home Rule Petitions to move forward. Governor Healey's enthusiasm for attacking the housing crisis has made advocates hopeful that the decade-long logjam will break this session. Joint Housing Committee Chair, Senator Lydia Edwards, also indicated this building momentum during her visit to Great Barrington last week.

A Seat At The Table: Amherst is currently the only municipality outside the Cape, Islands, or Eastern Massachusetts to file a Home Rule Petition. Western Massachusetts is being left out of the conversation. The more Western Massachusetts municipalities that file petitions, the more our region's interests and needs will be considered. For example, at the state level, some bills establish the fee only for transfers over \$2 million, which may work for Nantucket but not in Great Barrington. If Great Barrington acts swiftly, it is more likely that its Petition will be included in the hearings with the other bills and considered in the same early round. In short, Great Barrington should be at the table to negotiate the omnibus housing bill and should have its home rule petition considered at the earliest opportunity.

With a Special Town Meeting for a potential school district merger planned, with an estimated cost of \$5,000, it makes sense to include a transfer fee home rule petition vote on the Warrant. Higher attendance at the Special Town Meeting means increased engagement; both articles are inextricably linked and focused on ensuring that the sustainability and vitality of this community are kept alive for future generations. As repeatedly noted by school administrators, housing costs have made recruitment efforts difficult for the local school districts. Housing is a very real piece of enhancing educational opportunities for our students.

Respectfully Submitted,



Leigh Davis

Vice Chair, Great Barrington Selectboard

September 13, 2023

Stephen C. Bannon, Chair
Leigh Davis
Eric Gabriel
Garfield Reed
Ben Elliott



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619 x2900
Fax: (413) 528-2290

TOWN OF GREAT BARRINGTON MASSACHUSETTS

SELECTBOARD

PROCLAMATION

Seven Minutes of World Peace Day

Town of Great Barrington, Massachusetts

Whereas, Seven Minutes of World Peace is a global simultaneous observance of silence for seven minutes on September 21, 14:00-14:07 Greenwich Mean Time corresponding to 9:00-9:07 AM Eastern Daylight Time in the United States marking the International Day of Peace, when the Peace Bell is rung at the United Nations, thereby uniting individuals, communities, organizations and nations around the world in silence, prayer or meditation dedicated to the spirit of world peace; and

Whereas, Seven Minutes of World Peace was founded in 1984 by Sri Chinmoy (1931-2007), and hosted by the Sri Chinmoy Centre and Sri Chinmoy: Peace Meditations at the United Nations, in cooperation with United Nations Associations around the world, along with a broad range of religious, spiritual, educational and peace organizations who believe that a foundation of inner peace must be established among all peoples before outer peace can become a reality; and

Whereas, Seven Minutes of World Peace has no political or religious affiliations or point of view other than the universal human desires for harmony among nations and peoples, and

Whereas, the Town of Great Barrington has an ever-increasing commitment to ideals of peace, compassion and social justice;

Now, therefore be it resolved that the Selectboard of the Town of Great Barrington do hereby request that all town offices join others around the world in observing simultaneous silence during Seven Minutes of World Peace from 9:00-9:07 am EDT on September 21, 2023 and encourage all town employees and citizens in Great Barrington to participate individually or collectively, in the spirit of peace.

IN WITNESS THEREOF, We have hereunto set on this 18th day of September, 2023

Steve Bannon
Leigh Davis
Ben Elliott
Eric Gabriel
Garfield Reed

EXECUTIVE SUMMARY

TITLE: Title VI Nondiscrimination Policy

BACKGROUND: As a recipient of federal funds, our transportation program is required to develop and implement a Nondiscrimination Policy in compliance with Title VI of the Civil Rights Act of 1964.

The draft policy accomplishes the key goals of such a policy, including:

- A statement of policy that the Town operates the program without regard to race, color, and/or national origin;
- A notification to the public of their rights under Title VI, including the right to file a complaint, and posting of that notice in public places including in the transportation vehicles;
- Information in languages other than English, if appropriate to the local context (in our case, the information is also posted in Spanish, and Spanish-speaking staff is available if needed);
- A form to fill out if there are complaints and a description of the procedure that will be used to intake and deal with Title VI complaints;
- Other information including how the policy was developed and who to contact with questions.

The draft policy was made available to the public in the libraries and online, and two public information sessions were held. The sessions were advertised online, in print, in the newspaper, and in the transit vehicles. As of this writing, no comments have been received.

RECOMMENDATION: The Selectboard vote to approve the Title VI Nondiscrimination Policy.

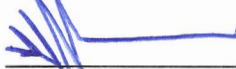
WRITTEN BY:


Assistant Town Manager /
Director of Planning and Community Development

DATE:

9/12/23

APPROVED BY:


Town Manager

DATE:

9/12/23

Public Notice

Title VI Non Discrimination Policy. The Town of Great Barrington Tri-Town Connector transportation program will hold two public meetings to take comments on the Town's proposed Title VI policy. Members of the public are welcome to attend in person or via zoom. The meetings will be on Monday September 11, 2023 at 12:00 noon and at 4:30 PM, at Town Hall, 334 Main Street, Great Barrington, MA 01230. People who wish to attend via Zoom can email crembold@townofgb.org for the Zoom login information.

Copies of the proposed policy are on the Town's website, as well as in the Town Planning Department in Town Hall, and in the Town libraries: Mason Public Library, 231 Main Street, Great Barrington, MA 01230 and Ramsdell Public Library, 1087 Main Street, Housatonic, MA 01236.

A Public Hearing will be held on Monday, September 18, 2023 beginning at 6:00 PM during the Selectboard's meeting to finalize and adopt the Policy. The meeting will be in-person and via Zoom. For more information email crembold@townofgb.org.

DRAFT

Comment to crembold@townofgb.org or
call 413-528-1619, x.2401
prior to September 18, 2023

Federal Transit Administration Title VI Program

Town of Great Barrington, Massachusetts

Adopted _____

(Plan expires 3 years from date approved by the board)

Title VI Plan Table of Contents

The **Town of Great Barrington** Title VI plan includes the following elements:

1. Plan Approval, Annual Certifications and Assurances, Revision Log
2. Policy Statement
3. Notice to the Public
4. Complaint Procedure
5. Complaint Form
6. List of transit related Title VI Investigations, Complaints and Lawsuits
7. Public Participation Plan
8. Language Assistance Plan
9. Minority Representation Table and Description
10. Providing Assistance to and Monitoring Subrecipients
11. Title VI Equity Analysis for Facility Acquisition
12. Fixed Route Transit Provider Requirements

Section 1: Title VI Plan Approval & Compliance Requirements

Title VI Plan Adopted on: September 18, 2023 – public meeting to adopt plan

Adopted by: Selectboard

Signature(s): _____

Approval:

(Include here a copy of documentation to show approval of the Plan – minutes, resolutions, ordinance, etc)

Annual Certifications and Assurances

In accordance with 49 CFR Section 21.7(a), every application for financial assistance from FTA must be accompanied by an assurance that the applicant will carry out the program in compliance with Title VI regulations. This requirement shall be fulfilled when the applicant/recipient submits its annual certifications and assurances. Primary recipients will collect Title VI assurances from sub-recipients prior to passing through FTA funds.

Town of Great Barrington will remain in compliance with this requirement by annual submission of certifications and assurances as required by MassDOT.

The date of last submission of these certifications and assurances (at the time of this Plan's approval) is:
(not applicable / first year)

Title VI Plan Revision Log

Date Month/day/year	Section Revised	Summary of Revisions
9/18/2023	Entire Plan	Entire Plan Adopted for First Time

Section 2: Title VI Policy Statement

Policy Statement

The Town of Great Barrington, operating transit provider, as a recipient of Federal Transit Administration (FTA) grant dollars either directly from FTA or through the Massachusetts Department of Transportation (MassDOT), will comply with the Title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d), the U.S. Department of Transportation implementing regulations, FTA Circular 4702.1B, and MassDOT Public Transportation requirements as specified in Master Grant Agreement, and State Management Plan. The Town of Great Barrington operates its programs and services without regard to race, color, and national origin in accordance with Title VI of the Civil Rights Act.

Section 3: Notice to the Public

Title VI Notice to the Public

The Town of Great Barrington's Notice to the Public is as follows:

Notifying the Public of Rights Under Title VI

Town of Great Barrington, Massachusetts

- The Town of Great Barrington (the "Town") operates its programs and services without regard to race, color, and national origin in accordance with Title VI of the Civil Rights Act. Any person who believes she or he has been aggrieved by any unlawful discriminatory practice under Title VI may file a complaint with the Town.
- For more information on the Town's civil rights program, the procedures to file a complaint, or to file a complaint, please contact Christopher Rembold, Assistant Town Manager at 413-528-1619, x.2401; email crembold@townofgb.org; or visit our administrative office at 334 Main Street, Great Barrington, MA 01230. For more information, visit www.townofgb.org
- For transportation-related Title VI matters, a complaint may also be filed directly with the:

Massachusetts Department of Transportation, Office of Diversity and Civil Rights, Attn: Title VI Specialist, 10 Park Plaza, Suite 3800, Boston, MA 02116; (857) 368-8580; TTY: 711; MassDOT.CivilRights@dot.state.ma.us

Federal Transit Administration, Office of Civil Rights, Attention: Complaint Team, East Building, 5th Floor-TCR, 1200 New Jersey Ave., SE Washington, DC, 20590.

- If information is needed in another language, contact 413-528-1619 x.2401.

The Town's Notice to the Public is posted in the public areas of these following places, and inside the transit vehicles.

1. Town Hall, 334 Main Street, Planning Department, Great Barrington, MA 01230
2. Mason Public Library, 231 Main Street, Great Barrington, MA 01230
3. Ramsdell Public Library, 1087 Main Street, Housatonic, MA 01236

Sample Title VI Notice to the Public in Spanish

Note: The translation of vital documents must be verified for accuracy. You cannot assume that what is written in this template accurately conveys the rights included in your Title VI notice. You also cannot rely on Google Translate without additional verification such as a language translator.

Note: Follow this template below for any additional languages required by your Language Assistance Plan.

Notificación al público de derechos bajo el Título VI

- El Pueblo de Great Barrington opera sus programas y servicios sin distinción de raza, color y origen nacional, según el Título VI de la Ley de Derechos Civiles. Cualquier persona que cree o que ha sido perjudicada por una práctica discriminatoria ilegal bajo el Título VI puede presentar una queja con el Pueblo de Great Barrington.
- Para obtener más información sobre el programa de derechos civiles de Great Barrington, o para obtener más información sobre los procedimientos para presentar una queja, por favor llame a Carmen Morales, 413-528-1619; cmorales@townofgb.org. o visite nuestra oficina administrativa en 334 Main Street, Great Barrington, MA 01230.
- Un demandante puede presentar una queja directamente a la el Departamento de Transporte del estado de Massachusetts Department of Transportation, Office of Diversity and Civil Rights, Attn: Title VI Specialist, 10 Park Plaza, Suite 3800, Boston, MA 02116; (857) 368-8580; TTY: 711; MassDOT.CivilRights@dot.state.ma.us
- Un demandante puede presentar una queja directamente a la Administración Federal de tránsito, Office of Civil Rights, Atención: Complaint Team, East Building, 5th Floor-TCR, 1200 New Jersey Ave., SE Washington, DC, 20590.
- Si se necesita información en otro idioma, comuníquese con 413-528-1619.

Section 4: Title VI Complaint Procedure

The Town's Title VI Complaint Procedure is made available in the following locations:

- Agency website, if available: www.townofgb.org
 - Hard copy in the central office
 - Agency Title VI Plan
-

Any individual, group of individuals or entity that believes they have been discriminated against on the basis of race, color, or national origin by the Town may file a Title VI complaint by completing and submitting the agency's Title VI Complaint Form.

Any individual having filed a complaint or participated in the investigation of a complaint shall not be subjected to any form of intimidation or retaliation. Individuals who have cause to think that they have been subjected to intimidation or retaliation can file a complaint of retaliation following the same procedure for filing a discrimination complaint.

A complaint must be filed with the Town no later than 180 days after the following:

1. The date of the alleged act of discrimination; or
2. The date when the person(s) became aware of the alleged discrimination; or
3. Where there has been a continuing course of conduct, the date on which that conduct was discontinued of the latest instance of the conduct.

Once the complaint is received, the Town will review it to determine if our office has jurisdiction. A copy of each Title VI complaint received will be forwarded to the Massachusetts Department of Transportation within ten (10) calendar days of receipt. The complainant will receive an acknowledgement letter informing her/him whether the complaint will be investigated by our office.

The Town has 45 days to investigate the complaint. If more information is needed to resolve the case, the Town may contact the complainant requesting further information. The complainant has # business days from the date of the letter to send requested information to the investigator assigned to the case. If the investigator is not contacted by the complainant or does not receive the additional information within # business days, the Town can administratively close the case.

After the investigator reviews the complaint, the agency will issue one of two (2) letters to the complainant: a closure letter or a letter of finding (LOF).

- ✓ A closure letter summarizes the allegations and states that there was not a Title VI violation and that the case will be closed.
- ✓ A letter of finding (LOF) summarizes the allegations and the interviews regarding the alleged incident, and explains whether any disciplinary action, additional training of the staff member, or other action will occur.

If the complainant wishes to appeal the decision it must direct the appeal to the agency initially. The complainant has 10 days after the date of the closure letter or the letter of finding to do so. If there is outstanding concern, the appeal may be directed to the state DOT or FTA. The appeal process information will be included in the letter.

A person may also file a complaint directly with the: Massachusetts Department of Transportation, Office of Diversity and Civil Rights, Attn: Title VI Specialist, 10 Park Plaza, Suite 3800, Boston, MA 02116; (857) 368-8580; TTY: 711; MassDOT.CivilRights@dot.state.ma.us;

Or

Federal Transit Administration, Office of Civil Rights, Attention: Complaint Team, East Building,
5th Floor-TCR, 1200 New Jersey Ave., SE Washington, DC, 20590.

If information is needed in another language, then contact 413-528-1619.

Section 5: Title VI Complaint Form

The Town's Title VI Complaint Procedure is made available in the following locations:

- Agency website, if available: www.townofgb.org
- Hard copy in the central office
- Agency Title VI Plan

Section I:					
Name:					
Address:					
Telephone (Home):			Telephone (Work):		
Email Address:					
Accessible Requirements?	Format	Large Print		Audio Tape	
		TDD		Other	
Section II:					
Are you filing this complaint on your own behalf?				Yes*	No
*If you answered "yes" to this question, go to Section III.					
If not, please supply the name and relationship of the person for whom you are complaining:					
Please explain why you have filed for a third party: _____					
Please confirm that you have obtained the permission of the aggrieved party if you are filing on behalf of a third party.				Yes	No
Section III:					
I believe the discrimination I experienced was based on (check all that apply):					
<input type="checkbox"/> Race		<input type="checkbox"/> Color		<input type="checkbox"/> National Origin	
Date of Alleged Discrimination (Month Day, Year) _____					
Explain as clearly as possible what happened and why you believe you were discriminated against. Describe all persons who were involved. Include the name and contact information of the person(s) who discriminated against you (if known) as well as names and contact information of any witnesses. If more space is needed, please use the back of this form. _____ _____ _____					
Section IV					
Have you previously filed a Title VI complaint with this agency?				Yes	No
Section V					
Have you filed this complaint with any other Federal, State, or local agency, or with any Federal or State court?					
<input type="checkbox"/> Yes		<input type="checkbox"/> No			
If yes, check all that apply:					
<input type="checkbox"/> Federal Agency: _____					
<input type="checkbox"/> Federal Court _____		<input type="checkbox"/> State Agency _____			

<input type="checkbox"/> State Court _____	<input type="checkbox"/> Local Agency _____
Please provide information about a contact person at the agency/court where the complaint was filed.	
Name:	
Title:	
Agency:	
Address:	
Telephone:	
Section VI	
Name of agency complaint is against:	
Contact person:	
Title:	
Telephone number:	

You may attach any written materials or other information that you think is relevant to your complaint.

Signature and date required below

Signature

Date

If information is needed in another language, contact 413-528-1619.

Please submit this form to:

Town of Great Barrington
Assistant Town Manager
334 Main Street
Great Barrington, MA 01230

Section 6: List of Transit Related Title VI Investigations, Complaints and Lawsuits

The Town maintains a list or log of all Title VI investigations, complaints and lawsuits, pertaining to its transit-related activities.

Check One:

 x There have been **no** investigations, complaint and/or lawsuits filed against us since the last plan submission.

 There have been investigations, complaints and/or lawsuits filed against us. *See list below. Attach additional information as needed.*

	Date (Month, Day, Year)	Summary (include basis of complaint: race, color, or national origin)	Status	Action(s) Taken
Investigations				
1.				
2.				
Lawsuits				
1.				
2.				
Complaints				
1.				
2.				

Section 7: Public Participation Plan

Strategies and Desired Outcomes

To promote inclusive public participation, the Town will employ the following strategies, as appropriate (make these determinations based on a demographic analysis of the population(s) affected, type of plan, program and/or service under consideration, and the resources available):

- ✓ Provide for early, frequent and continuous engagement by the public
- ✓ Select accessible and varied meeting locations and times
- ✓ Employ different meeting sizes and formats
- ✓ Use social media in addition to other resources as a way to gain public involvement
- ✓ Use radio, television or newspaper ads on stations and in publications that serve LEP populations.
- ✓ Expand traditional outreach methods by visiting minority-owned or oriented stores/markets and restaurants, community centers, libraries, faith-based institutions, local festivals, etc.

Public Outreach Activities

The public outreach and involvement activities conducted by the Town since the last Title VI Program submission are summarized in the table below.

Specific Public Participation activities are listed in the table below:

Event Date	Insert Agency Name Staffer(s) or Department	Activity	Communication Method (Public notice, posters, social media)	Notes
9/5/23-9/15/23	Planning Dept	Comments received by email or in person at Open office hours at Town Hall weekdays 8:30am-4pm	Public notice in newspaper.	Spanish speaking staff also available in Town Hall if needed. Draft plan available online and in town hall and 2 public libraries.
9/11/2023	Planning Dept	Two input/meeting opportunities in person and via zoom	Public notice in newspaper. Posted on town website calendar.	Zoom option available for both meetings also. Draft plan available online and in town hall and 2 public libraries.
9/18/23	Selectboard	Board Meeting to approve plan	Posted to Town website. Advertisement in local newspaper.	Meeting held in-person and via zoom.

Section 8: Language Assistance Plan

Plan Components

As a recipient of federal US DOT funding, the Town is required to take reasonable steps to ensure meaningful access to our programs and activities by limited-English proficient (LEP) persons.

Limited English Proficient (LEP) refers to persons for whom English is not their primary language and who have a limited ability to read, write, speak, or understand English. This includes those who have reported to the U.S. Census that they speak English less than very well, not well, or not at all.

The Town's Language Assistance Plan includes the following elements:

- Item #1: The results of the *Four Factor Analysis*, including a description of the LEP population(s), served.
- Item #2: A description of how language assistance services are provided by language
- Item #3: A description of how LEP persons are informed of the availability of language assistance service
- Item #4: A description of how the language assistance plan is monitored and updated
- Item #5: A description of how employees are trained to provide language assistance to LEP persons

Four Factor Analysis Methodology

To determine if an individual is entitled to language assistance and what specific services are appropriate, the Town has conducted a *Four Factor Analysis* of the following areas: 1) Limited-English Proficient (LEP) Speaker Demography, 2) Contact Frequency, 3) Importance of Service, and 4) Resources and Costs.

Factor 1: The number or proportion of LEP persons eligible to be served or likely to be encountered by the program or recipient. In addition to the number or proportion of LEP persons served, the Town will identify:

- (a) How LEP persons interact with the recipient's agency;
- (b) Identification of LEP communities, and assessing the number or proportion of LEP persons from each language group to determine the appropriate language services for each language;
- (c) The literacy skills of LEP populations in their native languages, in order to determine whether translation of documents will be an effective practice; and
- (d) Whether LEP persons are underserved by the recipient due to language barriers.

Factor 2: The frequency with which LEP persons come into contact with the program: Identifies and assesses the frequency Town's staff comes into contact with LEP persons. Examples of contact could include:

- (a) Use of bus and rail service;
- (b) Purchase of tickets through vending machines, outlets, websites, and over the phone;
- (c) Participation in public meetings;
- (d) Customer service interactions;
- (e) Ridership surveys;
- (f) Operator surveys.

Factor 3: The nature and importance of the program, activity, or service provided by the program to people’s lives. Generally speaking, the more important the program, the more frequent the contact and the likelihood that language services will be needed.

Factor 4: The resources available to the recipient for LEP outreach, as well as the costs associated with that outreach. Resource and cost issues can often be reduced by technological advances, reasonable business practices, and the sharing of language assistance materials and services among and between recipients, advocacy groups, LEP populations and Federal agencies. Large entities and those entities serving a significant number of LEP persons should ensure that their resource limitations are well substantiated before using this factor as a reason to limit language assistance.

Item #1 – Results of the Four Factor Analysis (including a description of the LEP population(s) served)

Factor 1: The number or proportion of LEP persons eligible to be served or likely to be encountered.

Of the 6,806 residents age 5 and over in the Town of Great Barrington service area, 94 residents describe themselves as speaking English less than “very well”. For the Town service area, the latest U.S. Census Bureau data shows that among the area’s population 1.4% speak English “less than very well.” **For these groups** who speak English “less than very well”, 52% speak Spanish.

Town of Great Barrington – Languages Spoke at Home

	Total Number	Percent of Population	Total Population of County
Speak Language other than English	453	6%	
Speak English Less than Very Well	94	1%	
Spanish	49	52%	

Factor 2: The frequency with which LEP persons come into contact with the program.

The Town assessed the frequency with which staff and drivers have, or could have, contact with LEP persons. The Town provides approximately 600 passenger trips per year. If an individual has speech limitations, the dispatcher or driver will work with the Massachusetts Department of Transportation, if needed, to ensure the individual receives access to the transit services.

Factor 3: The nature and importance of the program, activity, or service provided by the program to people’s lives.

All of the Town’s programs are important; however, those related to safety, public transit, nondiscrimination and public involvement are among the most important. The Town is committed to providing meaningful access and will provide written translation for any of its documents, when reasonable, effective and with the available resources. In other cases, the Town will strive to provide alternative but meaningfully accessibility. Moreover, the Town continually evaluates its programs, services, and activities to ensure that persons who may be LEP are always provided with meaningful access. The Title VI policy, complaint form, and LEP policy are available in Spanish upon request.

Factor 4: The resources available for LEP outreach, as well as the costs associated with that outreach.

The Town makes every effort to make its programs, services, and activities, accessible to LEP individuals. The Town will use available resources, both internal and external to accommodate reasonable requests for translations.

Item # 2 – Description of how Language Assistance Services are Provided, by Language

The Town of Great Barrington has identified, developed, and uses the following:

- a) The Town has staff that are available to assist with LEP responsibilities.
- b) Web-based translations are available and customers can use Tablets for translation – these are available in the Town Hall for interactions with Town Staff.

Item # 3 – Description of how LEP Persons are Informed of the Availability of Language Assistance Service

In order to ensure that LEP individuals are aware of the Town’s language assistance measures, the Town provides the following:

- Title VI Program including the Language Assistance Plan is made available on website, if applicable, and hard copy in central office.

Item # 4 – Description of how the Language Assistance Plan is Monitored and Updated

The Town will continue to update the LEP plan as required by U.S. DOT. At a minimum, the Title VI Plan will continue to be reviewed and updated every three (3) years in conjunction with the Title VI submission and use data from the U.S. Decennial Census or the American Community Survey as available, or when it is clear that the concentrations of LEP individuals are present in the Insert Agency Name service area.

Updates will continue to include the following:

- The number of documented LEP person contacts encountered annually.
- How the needs of LEP persons have been addressed.
- Determination of the current LEP population in the service area.
- Determination as to whether the need for translation services has changed.
- Determine whether local language assistance programs have been effective and sufficient to meet the need.
- Determine whether the Town’s financial resources are sufficient to fund language assistance resources needed.
- Determine whether the Town has fully complied with the goals of this LEP Plan.
- Determine whether complaints have been received concerning the Town’s failure to meet the needs of LEP individuals

Item # 5 - Description of how Employees are Trained to Provide Language Assistance to LEP Persons

The following training will continue to be provided to Town staff:

- Information on the Town’s Title VI Procedures and LEP responsibilities.
- Description of language assistance services offered to the public.
- Use of “I Speak” language cards (used to identify language preference) will be investigated and implemented if feasible.
- Documentation of language assistance requests.
- Use of web-based interpreter services (over the phone interpretation provider).
- How to handle a potential Title VI / LEP complaint.

Limited English Proficient (LEP) Resource Materials:

LEP Policy

Town of Great Barrington shall provide for communication for limited English proficient riders to ensure them equal opportunity to benefit from services. Family members or friends of limited English proficient riders will not be used as translators unless specifically requested by that individual. Arrangements have been made to use Town staff as translators for Spanish speakers. The Town will also utilize web-based translator programs if available.

If you need help with English, please call 413-528-1619, x. 2501

Si usted necesita ayuda con el inglés, por favor llame 413-528-1619, x. 2501

Section 9: Minority Representation Information

Recipients that have **transit-related**, non-elected planning boards, advisory councils or committees, or similar committees, the membership of which is selected by the recipient, must provide a table depicting the racial breakdown of the membership of those committees, and a description of efforts made to encourage the participation of minorities on such committees.

***Guidance:** Elected transit-related boards, committees, or councils, do not need to complete the table below, and write in section B that there are no non-elected transit-related boards, committees, or councils.

A. Minority Representation Table

Table Depicting Membership of Board, Committees, Councils, Broken Down by Race

Body	Caucasian	Hispanic	African American	Asian American	Native American	Two or More Races
Regional Transportation Advisory Committee	10 100%	0 0%	0 0%	0 0%	0 0%	0 0%

Note: insert the number of people and % of total board membership

B. Efforts to Encourage Minority Participation

To encourage participation on its boards, committees, and councils, the Town of Great Barrington places public notices on its website and social media pages.

Section 10: Providing Assistance to and Monitoring Subrecipients

1. Does agency provide funding to subrecipients?

No, the agency does not have subrecipients.

Yes. If yes, list the subrecipient names: (list other agency names here)

Insert Agency Name monitors subrecipients using the following process:

1. Insert Agency Name uses the following process for ensuring all subrecipients are complying with the general reporting requirements of FTA Circular 4702.1B: (document the process here)
2. Insert Agency Name collects Title VI programs from the subrecipients listed above and reviews programs for compliance by (list the process here)

Section 11: Title VI Equity Analysis for Facility Acquisition

Title 49 CFR, Appendix C, Section (3)(iv) requires “the location of projects requiring land acquisition and the displacement of persons from their residences and business may not be determined on the basis of race, color, or national origin.” For purposes of this requirement, “facilities” does not include bus shelters, as they are considered transit amenities. It also does not include transit stations, power substations, or any other project evaluated by the National Environmental Policy Act (NEPA) process. Facilities included in the provision include, but are not limited to, storage facilities, maintenance facilities, operations centers, etc. Has the agency built a facility? (check a response below)

No, the agency has not built a facility.

Yes, the agency has built a facility and completed a Title VI equity analysis to compare the equity impacts of various siting alternatives, and the analysis must occur before the selection of the preferred site. (Include at the end of the Title VI plan a copy of the Title VI equity analysis.)

Section 12: Fixed Route Transit Providers Service Standards and Policies

FTA Circular 4702.1B, Chapter III, Paragraph 10: All fixed route transit providers shall set service standards and policies for each specific fixed route mode of service they provide.

Town of Great Barrington:

is a fixed route transit provider

is **not** a fixed route transit provider

MONDAY

Chris Rembold

From: Leigh Davis
Sent: Thursday, September 14, 2023 3:13 PM
To: Chris Rembold
Subject: Re: Notes for Monday night Lake Mansfield - SB agenda item 7.b.

On Sep 14, 2023, at 3:05 PM, Chris Rembold <crembold@townofgb.org> wrote:

Hi Leigh,

I think the Lake Mansfield update for Monday night can just be you as the Rep. updating the SB on the LMITF activities. We can tag-team this announcement if you would like, maybe as follows:

Leigh:

As the Selectboard representative to the Lake Mansfield Improvement Task Force I would like to update you all, and announce that Lake Mansfield Improvements project is currently out to bid, with bids due this Wednesday. The Task Force is hopeful that we receive some competitive bids and that construction can begin this fall. If all goes well, the project will be substantially complete by the end of May and reopened for the summer recreation season. Chris Rembold can give us some more details.

Chris:

As Leigh said, if we can begin construction this fall, you will see that the road around Lake Mansfield as well as the parking lot at the beach will be closed to all traffic for several months. One of the more notable construction items will be the removal of trees in the forest area at the parking lot, so the parking lot can expand northwards. So this has been a long time coming and it's easy to forget about things, but we don't want people to be too surprised by the road closures and the work.

Also as Leigh said most of the work will be done by summer. Once the summer season is over, we'll go back in the fall of 2024 and complete the final paving and landscaping, and button up the project by the end of calendar year 2024.

When the project is completed, vehicles will no longer be permitted to use the road from the south, in other words from the boat launch to the beach. All passenger vehicles will enter the Recreation Area from the north end, via Christian Hill Road, to get to the beach area parking lot.

As a reminder, the project at Lake Mansfield includes the following aspects, which are designed to protect the water quality of the Lake and the habitat of the area, provide

handicapped accessibility throughout the recreation area, and improve the safety for everyone who uses the area. The parking lot at the beach area will be larger, and rain gardens and other features that will prevent stormwater contamination of the Lake. A new larger culvert on the north end, for the lake outlet stream, will be installed to prevent flooding of the road. And finally the vehicle road along the lake edge will be removed, to be replaced with a shared use path for walkers and bicyclists. Only emergency vehicles will be permitted to use this portion of the road. The lake edge will be replanted in order to provide stormwater filtration and a stabilized bank.

The construction cost is estimated to be approximately \$2.1 million for which we have approximately \$1.7 million in grant funds from the state. The balance of the funds will be from additional state grants, if we are successful, or from Town capital funds, which were approved at last May's Town Meeting.

Thanks,
Chris

<image003.jpg>

Christopher Rembold, AICP

Assistant Town Manager /
Director of Planning and
Community Development
413-528-1619, x. 2401
crembold@townofgb.org

Town of Great Barrington
334 Main Street
Great Barrington MA 01230

The Secretary of State's office has determined that most e-mails to and from municipal offices and officials are public records. Consequently, confidentiality should not be expected.

Mark Pruhenski

From: Steve Bannon
Sent: Monday, September 11, 2023 4:09 PM
To: Mark Pruhenski
Subject: Fwd: [Great Barrington MA] Legal Notice Full KENO Monitor (Sent by Jacqueline Kassis, jkassis@masslottery.com)
Attachments: great_barrington_selectboard_lipton_ktg_expansion_to_full_keno_monitor_lou_monolopi_sept_2023_1.docx;
great_barrington_selectboard_lipton_ktg_expansion_to_full_keno_monitor_lou_monolopi_sept_2023_1.pdf

Sent from my iPhone
Stephen Bannon
413 -446 -6957

Begin forwarded message:

From: Contact form at Great Barrington MA <cmsmailer@civicplus.com>
Date: September 11, 2023 at 4:07:00 PM EDT
To: Steve Bannon <sbannon@townofgb.org>
Subject: [Great Barrington MA] Legal Notice Full KENO Monitor (Sent by Jacqueline Kassis, jkassis@masslottery.com)
Reply-To: jkassis@masslottery.com

****CAUTION:****

****This is an external email, be vigilant****

*****Do not click links or open attachments unless you recognize the sender (and their email address) and know the content is safe*****

Hello sbannon,

Jacqueline Kassis (jkassis@masslottery.com) has sent you a message via your contact form (<https://www.townofgb.org/user/76/contact>) at Great Barrington MA.

If you don't want to receive such e-mails, you can change your settings at <https://www.townofgb.org/user/76/edit>.

Message:

September 8, 2023

Great Barrington Selectboard
Town Hall - 334 Main St.
Great Barrington, MA 1230

Dear Sir/Madam:

The Massachusetts State Lottery is offering a KENO monitor to existing KENO To Go agent/s in your city/town, to display the game at their location. In accordance with M.G.L. c 10, section 27A, as amended, you are hereby notified of the Lottery's intent to install a monitor at the following location/s in your community:

Lipton Mart #606
246 Stockbridge Rd.
Great Barrington, MA

If you object to these agent(s) receiving a monitor, you must do so, in writing, within twenty-one (21) days of receipt of this letter. Please address your written objection to Gregory Polin, General Counsel, Legal Department, Massachusetts State Lottery Commission, 150 Mount Vernon Street, Dorchester MA 02125. Should you have any questions regarding this program or any other issues relative to the Lottery, please call me at 781-849-5555. I look forward to working with you as the Lottery continues its' efforts to support the 351 cities and towns of the Commonwealth.

Sincerely,

Karen Harvey
Licensing Manager

On-line form - Stephen Bannon
On line Form - Leigh S. Davis

 **Massachusetts State Lottery Commission**

DEBORAH B. GOLDBERG
Treasurer and Receiver General

MARK WILLIAM BRACKEN
Executive Director

September 8, 2023

Great Barrington Selectboard
Town Hall - 334 Main St.
Great Barrington, MA 1230

RECEIVED
TOWN OF GREAT BARRINGTON
SEP 11 2023
SELECTBOARD &
TOWN MANAGER'S OFFICE

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Supporting the 351 Cities and Towns of Massachusetts

10/10/2023
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