

Mark Pruhenski
Town Manager

E-mail: mpruhenski@townofgb.org
www.townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619 x2
Fax: (413) 528-2290

TOWN OF GREAT BARRINGTON MASSACHUSETTS

OFFICE OF THE TOWN MANAGER

SELECTBOARD'S MEETING AGENDA

MONDAY, OCTOBER 7, 2019

5:30 PM - REGULAR SESSION

TOWN HALL, 334 MAIN STREET

ORDER OF AGENDA

5:30 PM - OPEN MEETING

1. CALL TO ORDER:

2. RECOMMENDATION from Lake Mansfield Improvement Task Force (LMITF) re: Lake Mansfield Road. (Discussion/Vote)

3. APPROVAL OF MINUTES:

September 16, 2019 Special Meeting.
September 23, 2019 Regular Meeting.

4. SELECTBOARD'S ANNOUNCEMENTS/STATEMENTS:

A. General Comments by the Board.

5. TOWN MANAGER'S REPORT:

A. Department Updates

B. Project Updates

6. LICENSES OR PERMITS:

A. Jeffrey Blaugrund/Braise Worthy Catering for permission to locate a food truck in front of Lee Bank, 279 Main Street at the corner of Church Street on October 16, 2019 from 3:30 pm – 7:00 pm for a private event. (Discussion/Vote)

B. Pascual Francisco/Donaji Mexican Restaurant for Temporary One Day Sunday Entertainment License for October 13, 2019 from 6:00 pm – 8:00 pm at 389 Stockbridge Road. (Discussion/Vote)

7. OLD BUSINESS:

A. SB – Schedule date for the next “Goal Setting” meeting. (Discussion/Vote)

8. NEW BUSINESS:

- A. SB – Recommendation to the Zoning Board of Appeals (ZBA) on the Special Permit Application of Jenise and Mark Lucey to alter a nonconforming residential structure at 415 Monterey Road, Great Barrington. (Discussion/Vote)
- B. SB – Recommendation to the Zoning Board of Appeals (ZBA) on the Appeal of the Building Inspector’s Cease and Desist Order filed by Duncan Stafford, 200 Maple Avenue, Great Barrington. (Discussion/Vote)
- C. SB – Recommendation to the Zoning Board of Appeals (ZBA) on the Special Permit Application of Robert W. Brownson, 495 Home Road, Sheffield to extend a pre-existing nonconforming use to allow a solid waste hauler operation at 57 Van Deusenville Road, Great Barrington. (Discussion/Vote)

7:00 PM

9. PUBLIC HEARINGS:

- A. Special Permit application from 79 Bridge Street Realty, LLC, to modify Special Permits 848-15, A, B, C, D, and E, to reflect proposed modifications to the proposed hotel project at 79 Bridge Street. This application is filed per Sections 3.1.4 C (8), 6.1, 7.10, 9.1, 9.2, 9.4, and 10.4 of the Great Barrington Zoning Bylaw. (Discussion/Vote)
 - a. Open Public Hearing
 - b. Explanation of Project
 - c. Speak in Favor/Opposition
 - d. Motion to Close Public Hearing
 - e. Motion re: Findings
 - f. Motion re: Approval/Denial/Table
- B. Special Permit application from Green Houses Partners, LLC, 70 Rowe Road, Great Barrington, to install an in-ground swimming pool at 27 Humphrey Street, Great Barrington, in accordance with Sections 3.1.4 G (12) and 10.4 of the Great Barrington Zoning Bylaw. (Discussion/Vote)
 - a. Open Public Hearing
 - b. Explanation of Project
 - c. Speak in Favor/Opposition
 - d. Motion to Close Public Hearing
 - e. Motion re: Findings
 - f. Motion re: Approval/Denial/Table
- C. To consider removing 3 public shade trees at 334 Main Street on Town owned property shown on Assessor’s Map 19, Lot 91 in Great Barrington. The trees scheduled for removal are a 10 inch ± diameter Norway Maple, a 15 inch ± Weeping Cherry, and a multi stem Locust. (Discussion/Vote)
 - a. Open Public Hearing
 - b. Explanation of Project
 - c. Speak in Favor/Opposition
 - d. Motion to Close Public Hearing
 - e. Motion re: Findings
 - f. Motion re: Approval/Denial/Table
- D. Application of Mooncloud LLC dba Mooncloud, William John Paul, Manager for a new Common Victualler Restaurant All Alcoholic Liquor License with seasonal outdoor patio seating at 47 Railroad Street, Unit 1A, Great Barrington, MA 01230. (Discussion/Vote)
 - g. Open Public Hearing
 - h. Explanation of Project

- i. Speak in Favor/Opposition
- j. Motion to Close Public Hearing
- k. Motion re: Findings
- l. Motion re: Approval/Denial/Table


10. CITIZEN SPEAK TIME:

11. SELECTBOARD'S TIME:

12. MEDIA TIME:

13. ADJOURNMENT:

NEXT SELECTBOARD'S MEETINGS: - **Thursday, October 10, 2019, 6:00pm – SB and Planning Board Joint Meeting @ Town Hall, 334 Main Street**
- **Monday, October 21, 2019, 6:00pm - SB Regular Meeting at Claire Teague Senior Center, 917 Main Street**



Mark Pruhenski, Town Manager

Pursuant to MGL. 7c. 30A sec. 20 (f), after notifying the chair of the public body, any person may make a video or audio recording of an open session of a meeting of a public body, or may transmit the meeting through any medium. At the beginning of the meeting, the chair shall inform other attendees of any such recordings. Any member of the public wishing to speak at the meeting must receive permission of the chair. The listings of agenda items are those reasonably anticipated by the chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

SB Oct 7/19 meeting

Chris Rembold

From: Jeffrey Blaugrund <jb@braiseworthy.com>
Sent: Wednesday, September 25, 2019 4:00 PM
To: Mark Pruhenski
Cc: Chris Rembold; Brandy McKie
Subject: Permission from Select Board to Cater with Food Cart
Attachments: 2019 Braise Worthy Catering License.pdf; 2019PittsfieldPermit.pdf

Mr. Pruhenski,

We have never met before, but I am requesting that the Select Board of Great Barrington grant my business permission to cater a private event in front of Lee Bank (279 Main Street at the corner of Church Street) on October 16th, 2019. To celebrate the re-opening of the branch, Lee Bank management (copied) is hosting an employee open house, and wants our Food Cart in front of the venue for the excitement and experience. We anticipate 60 guests and we plan to set up close to 3:30 PM and serve from 5 PM to 7 PM.

We maintain a licensed kitchen in Pittsfield, have a current catering license for Great Barrington, and have had our Food Cart inspected by Locke this year.

Attached is a photo of the store front. We imagine we will park the cart where the gold station wagon resides.

Please advise me of any appropriate next steps to get on the next agenda.

Best,
Jeff Blaugrund

→ (next page.)

DRT has reviewed the above request and has no issues. The truck should be clearly identified as for a "private event." At least 4' of sidewalk must remain clear/unobstructed. Organizer shall work w/ DPW to reserve the requested parking space. *CR* 10/1/19



Jeffrey Blaugrund
(646) 912-1455
www.braiseworthy.com



One Day

TOWN OF GREAT BARRINGTON
Temporary Sunday Entertainment License Application
(Local Approval ONLY-State Approval Required Separately)

Hours between 1:00 pm-11:59 pm (\$2.00 per Sunday) Hours between 9:00 am- 11:59 pm (\$5.00 per Sunday)

The undersigned hereby applies for a license in accordance with the provisions of Massachusetts General Laws, Ch.136 Sec.4.

Name: Pascual Francisco
Business/Organization: Donaji Mexican Restaurant
D/B/A (if applicable): Donaji Mexican Restaurant
Address: 389 Stockbridge Rd, Suite 2, GB MA
Mailing Address: same
Phone Number: 413 7174220
Email: pascualfco@me.com

TYPE: (Check all that apply) Concert Dance Exhibition Cabaret DJ
 Live band with up to 10 pieces, including singers Public Show
 Other (please explain) _____

INCLUDES: Live music Recorded music Dancing by entertainers/ performers
 Dancing by patrons Amplification system Theatrical exhibition
 Floorshow Play Moving picture show Light show Jukebox
 Other (please explain) _____

As part of the entertainment, will any person be permitted to appear on the premises in any manner or attire as to expose to public view any portion of the pubic area, anus, or genitals, or any simulation thereof, or whether any person will be permitted to appear on the premises in any manner or attire as to expose to public view a portion of the breast below the top of the areola, or any simulation thereof? (M.G.L. Chp.140 Sec.183A)

___ YES NO

Please circle: **INDOOR** or **OUTDOOR** Entertainment

Exact Location of Entertainment (include sketch): on the lawn in the front area.

? Date(s) of Entertainment: **Sunday**, Oct-13, 2019

? Start & End Times of Entertainment: 6:00pm - 8:00pm

Does your event involve any of the following? (Check all that apply)

- Food Temporary Bathrooms Tents Stages Temporary Signs
 Electrical Permits Building Permits Police Traffic Details Street Closures

ALL entertainment licenses will be reviewed by the Design Review Team (DRT), which is comprised of several Town departments, for comments/concerns on this application.

Pursuant to M.G.L. Ch. 62C, Sec. 49A, I certify under the penalties of perjury that I, to my best knowledge and belief, have filed all state tax returns and paid all state taxes required under law.

Paul Zancin
Signature of Individual or
Corporate Officer

10/1/19
Date

82-3219389
SS# or FID#

TOWN USE ONLY:

DRT Review with Conditions: DRT has reviewed and has no concerns. (CR)

APPROVAL DATE: _____

LICENSE # _____



ZBA SP# 901-19

TOWN OF GREAT BARRINGTON

NOTICE OF PUBLIC HEARING

The Great Barrington Zoning Board of Appeals will hold a public hearing on Tuesday, October 22, 2019 at 7:30 pm at Town Hall, 334 Main Street, Great Barrington, MA, to act on the Special Permit application from Jenise and Mark Lucey, to alter a nonconforming residential structure at 415 Monterey Road, Great Barrington, in accordance with Sections 5.3 and 10.4 of the Zoning Bylaw. A copy of the Special Permit Application is on file with the Town Clerk.

Ron Majdalany, Chair

Please publish October 4 and 11, 2019

Berkshire Record

SB Recommendation

Oct. 7/19

ZBA 59 # 901-19

S.B. -
copy
for 10/7 mtg



Town of Great Barrington
Massachusetts

ZBA-1
Rev. July 2013

Application to the
Zoning Board of Appeals

INSTRUCTIONS

You may download this form and fill it in on your computer. Fill out all applicable information. Save and print the form, and sign it where required. When you are ready with your form and all supporting plans and materials, call the Town Planner to set up a time to file the application. You will need to submit the original and 14 full copies of the entire package. It may not be submitted electronically, but submissions made by mail are acceptable. Incomplete applications and those not accompanied by the required fee or copies may be rejected. The Town Planner can be reached at (413) 528-1619, x.7 (Note, for Comprehensive Permit applications, please call the Town Planner.)

FOR OFFICE USE ONLY

Filing Date: _____
Received and checked for completeness by: _____
Number Assigned: _____
Date filed with the Town Clerk _____
FOR ZBA USE:
Advertising dates: _____ & _____
Public hearing date: _____

TIMELINE: The Zoning Board of Appeals (ZBA) will set a public hearing date that is at least 45 days but no more than 65 days from the date of your filing. The hearing date will be posted at Town Hall and in accordance with the Open Meetings Law, and notice of the hearing will be sent to the Applicant and/or Applicant's agent and abutting property owners by mail, and advertised for two consecutive weeks in the local newspaper.

A. WHAT ARE YOU SEEKING?

Check all that apply. If you are unsure, please consult with the Town Planner, Building Inspector, or ZBA Secretary (413-528-4953)

VARIANCE (exempts a property from some Zoning requirements)
You must complete portions A., B., C., D., G., H., I., and J. of this form.

SPECIAL PERMIT (for changes to nonconforming uses, structures)
You must complete portions A., B., C., E., G., H., I., and J. of this form.

APPEAL (to overturn a decision of Building Inspector or a Board)
You must complete portions A., B., C., F., G., H., I., and J. of this form.

B. SITE / PROPERTY INFORMATION

Address of Subject Property 415 Monterey Road

Assessor's Map No. 41 Lot No. 31A

Registry of Deeds Book No: 1723 Page: 318

Zoning District(s) R4 Two-acre Res.

Overlay Districts (if any) _____

C. APPLICANT AND OWNER INFORMATION

Applicant's Information

Name (please print) Jenise and Mark Lucey Phone (area code first) 413-358-8082

Street Address 415 Monterey Road

City, State, Zip Code Great Barrington, MA 01230

If Applicant is a corporation, provide name of contact person: _____

Email Address mjlucey20@hotmail.com Signature Mark Lucey Jenise Lucey

Check here if Applicant and Property Owner are the same, and skip to the next section.

Check here if Applicant is different than the Property Owner, and to verify that you have the Property Owner's permission to file this Application. Note that the Property Owner must sign below to indicate permission to file this Application.

Enter Property Owner's information EXACTLY as it appears on the most recent tax bill.

Property Owner's Information

Name (please print) _____ Phone (area code first) _____

Street Address _____

City, State, Zip Code _____

Email Address _____ Signature _____

D. VARIANCES If you are requesting a variance, please answer all of the following. Attach additional sheets if necessary.

- 1) From which Section(s) of the Zoning Bylaw do you request a variance?
- 2) What will the requested variance(s) enable you to do?
- 3) If the variance(s) is not granted, what hardship will that cause you?
- 4) What special circumstances relating to soil condition, shape or topography of land or structures, affect your property but not other properties in the same zone?
- 5) Explain why your special circumstances are not a result of your own actions.
- 6) If the variance(s) is not granted, what rights will you be deprived of that other properties in the same zone enjoy?
- 7) Explain why a variance will not give you any special privileges that other properties in the same zoning district don't have.

E. SPECIAL PERMITS If you are requesting a special permit, please answer all of the following. Attach additional sheets if necessary.

- 1) A special permit is being requested in order to (please describe project): *Addition will create added bedroom space and basement/storage area.*
- 2) This application is made under the following Sections of the Zoning Bylaw (check all that apply):
 Section 5.2 Section 5.3 Section 5.5
 Section 5.6 Section 5.7 Section 10.4
- 3) Reason(s) that this property is not in conformance with the Zoning Bylaw *The addition we are planning would be an extension of a nonconforming structure being that there is insufficient frontage.*
- 4) Are there any previous Special Permits or Variances for this property? No Yes
If yes, provide date(s), and name of issuing Board

F. APPEALS If you are seeking an appeal, please answer all of the following. Attach additional sheets if necessary.

- 1) This application is to appeal the decision of Building Inspector Planning Board Board of Selectmen
- 2) Date of decision
- 3) Nature of the decision
- 4) Applicable Section(s) of the Zoning Bylaw
- 5) Describe your interpretation of the nature of the decision and the remedy you seek. Attach additional sheets if needed.

G. REQUIREMENTS FOR ALL APPLICATIONS

By checking the items below, applicant acknowledges that each application is accompanied by each of the items listed below.

- Plot Plan of the entire property or tract. The Board may require the plan to be signed by a licensed surveyor or engineer, particularly if the matter involves dimensional issues. The plan should include those items listed in Section 10.5.3 of the Zoning Bylaw, including two locus maps--one USGS survey map and one current zoning map-- illustrating property location.
- A current list of all abutters within 300 feet of the property, including address of owner, map and lot number. The list must be obtained from the Assessor's office and certified by the Assessor's office. Call 413-528-1619, x. 5.
- At least one copy of the application and plans / specifications shall be no larger than 11 x 17 inches.

H. APPLICATION FEE

Application fees are calculated at \$150 per request. (For example, if one box in **A.** is checked, the fee is \$150. For two boxes, the fee is \$300.)

- Check here to confirm that your check in the appropriate amount is enclosed. Make checks payable to Town of Great Barrington.

I. TECHNICAL REVIEW FEES

- The Zoning Board of Appeals may hire independent consultants whose services shall be paid for by the applicant(s) under the terms of the Rules and Regulations of the Zoning Board of Appeals, and in accordance with Chapter 44, Section 53G of the Massachusetts General Laws. Check here to acknowledge and be bound by these regulations. Failure to acknowledge shall cause this application to be rejected as incomplete. Please also sign here: Mark Lucey Jenise Lucey

J. ADDITIONAL INFORMATION

Recommending Boards: All applications to the Zoning Board of Appeals are referred to the Planning Board, Conservation Commission, Board of Health, and Board of Selectmen for comments and recommendations. Applicants should be prepared to attend those meetings in order to brief those boards of their project and answer any questions.

Site Visits: The ZBA and recommending Boards may contact the Applicant to request a site visit. Applicants agree to facilitate access to the site at a mutually convenient date and time.

Timeline/ Procedures: The ZBA conducts its business in accordance with Massachusetts General Laws. Accordingly, the ZBA will hold its Public Hearing not later than 65 days after the filing of the application. A decision for a variance or appeal will be rendered not later than 100 days from the filing date. A decision for a special permit will be made not later than 90 days after the close of the Public Hearing. The decision will be filed with the Town Clerk within 20 days of the date of the decision. The appeal period lasts for 20 days after the filing with the Town Clerk. On the 21st day, if no appeals are filed, or once all appeals are resolved, the applicant shall have the decision certified by the Town Clerk. The Applicant is responsible for then filing the decision with the Registry of Deeds, at which time the decision becomes effective.

Guidance and Counsel: In preparing this application and when presenting the case to the ZBA, applicants are advised to be fully familiar with, or seek counsel from a qualified person who is familiar with, the Zoning Bylaw and other rules, regulations, and laws as may be appropriate. If you wish to discuss the completeness of this application, or have any questions about this application, please contact the ZBA's Secretary, Bernard Drew, at 413-528-4953, or the Town Planner at 413-528-1619, x. 7. However, we will not discuss the merits or strategy of your case.

Applicant's Signature: "I have read and I understand all of the information on this application."

Mark Lucey Jenise Lucey (signed) 9/25/19 (date)

Print Form

Need Help? Just call us.

Town Planner: (413) 528-1619, x.7

Building Inspector / Zoning Enforcement Officer:
(413) 528-3206

ZBA Secretary: (413) 528-4953

For bylaws, regulations, maps, and other useful information, visit us online at www.townofgb.org

THIS PARCEL IS SUBJECT TO AND WITH THE BENEFIT OF ALL RIGHTS, RESTRICTIONS, CONDITIONS, EASEMENTS, LEASES, ENCUMBRANCES AND APPURTENANCES OF RECORD.

RECORD OWNER: MARK J. LUCEY & JENISE L. LUCEY (F.K.A. JENISE LEGGATT)
 LOCUS DEED: BK - 1723 PG - 318
 (PARCEL #2 ON PLAN IN PLAT FILE H - 135)

PROPERTY ADDRESS: 415 MONTEREY ROAD a.k.a. ROUTE 23
 ASSESSOR MAP - 41 LOT - 31A

THE LIMITS OF WETLAND RESOURCE AREAS AND THE 100 FOOT BUFFER ZONE SHOWN HEREON ARE TO BE CONSIDERED APPROXIMATE AND ARE BASED ON MASS G.I.S. (D.E.P. DATA)

THERE WERE NO DRAINAGE CONTROLS OBSERVED DURING THE COURSE OF THE SITE WORK. SURFACE WATER APPEARS TO DRAIN AWAY FROM THE EXISTING HOUSE & THE PROPOSED ADU IN AN EASTERLY DIRECTION TOWARD THE CULVERT WHICH CROSSES UNDERNEATH OLD MONTEREY ROAD.

THIS PROPERTY IS SERVICED BY PRIVATE WATER AND SEPTIC.

A REQUEST IS MADE TO WAIVE THE FOLLOWING SUBMITTAL REQUIREMENTS FROM SECTION 10.5.3 OF THE TOWN ZONING BYLAWS:
 g) ... CONTOURS OF ELEVATION AT INTERVALS OF NO MORE THAN TWO FEET.
 i) ... STORMWATER DRAINAGE CALCULATIONS.
 j) ALL STORMWATER MANAGEMENT DEVICES...

ZONING

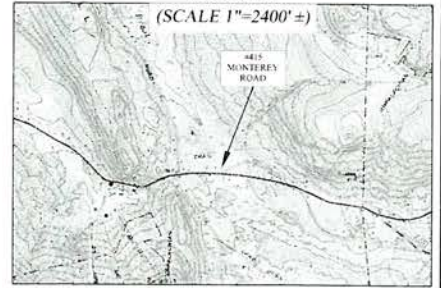
DISTRICT: R - 2
 LOT AREA: 1 ACRE
 LOT WIDTH: 150 FT.
 MIN. FRONT YARD: 50 FT.
 MIN. SIDE YARD: 20 FT.
 MIN. REAR YARD: 30 FT.
 MAX. LOT COVERAGE: 20%

NOTE:

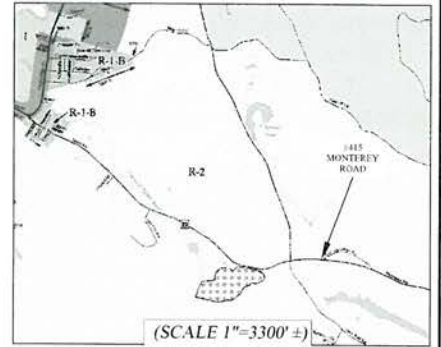
THE EXACT LOCATION AND ORIENTATION OF THE EXISTING LEACHFIELD PIPES IS UNKNOWN TO ME AT THIS TIME. HOW THEY ARE DEPICTED HEREON IS ASSUMED ONLY. (SEE SKETCH OF SEWAGE DISPOSAL SYSTEM INSPECTED ON JUNE 21, 2006)

USGS MAP

(SCALE 1"=2400' ±)



ZONING MAP (dated May 9, 2016)



LEGEND

- △ POINT COMPUTED
- IRON PIPE/ROD FOUND
- COMPUTED BOUND
- ⊕ WELL
- UTILITY POLE
- OVERHEAD UTILITY LINES
- △ GUTTER DRAIN PIPE TO DAYLIGHT
- ⊙ FLOOD LIGHT
- ⊕ ELECTRIC METER
- ⊙ APPROX. LOCATION OF LARGE EVERGREEN TREE
- ⊙ APPROXIMATE EDGE OF WOODS



MERIDIAN FROM PLAT FILE H-135

LAND OF C. SCHOUR
 BK - 1910 PG - 171
 (SEE PLAN IN PLAT FILE J - 179)
 #14 MONUMENT VALLEY ROAD

LAND OF W. SWOTE'S
 BK - 1507 PG - 118
 (SEE PLAN IN PLAT FILE H - 135)
 #413 MONTEREY ROAD

LAND OF C. BOUTEILLER
 BK - 1618 PG - 295
 (SEE PLAN IN PLAT FILE J - 179)

LAND OF OBERMEYER
 BK - 2292 PG - 309

LAND OF P. KLINKOWSKI
 BK - 2039 PG - 315
 (SEE PLAN IN MAP BK-5 PG-201)
 #412 MONTEREY ROAD

LAND OF J. SEVERIN JR.
 BK - 1292 PG - 1
 #414 MONTEREY ROAD

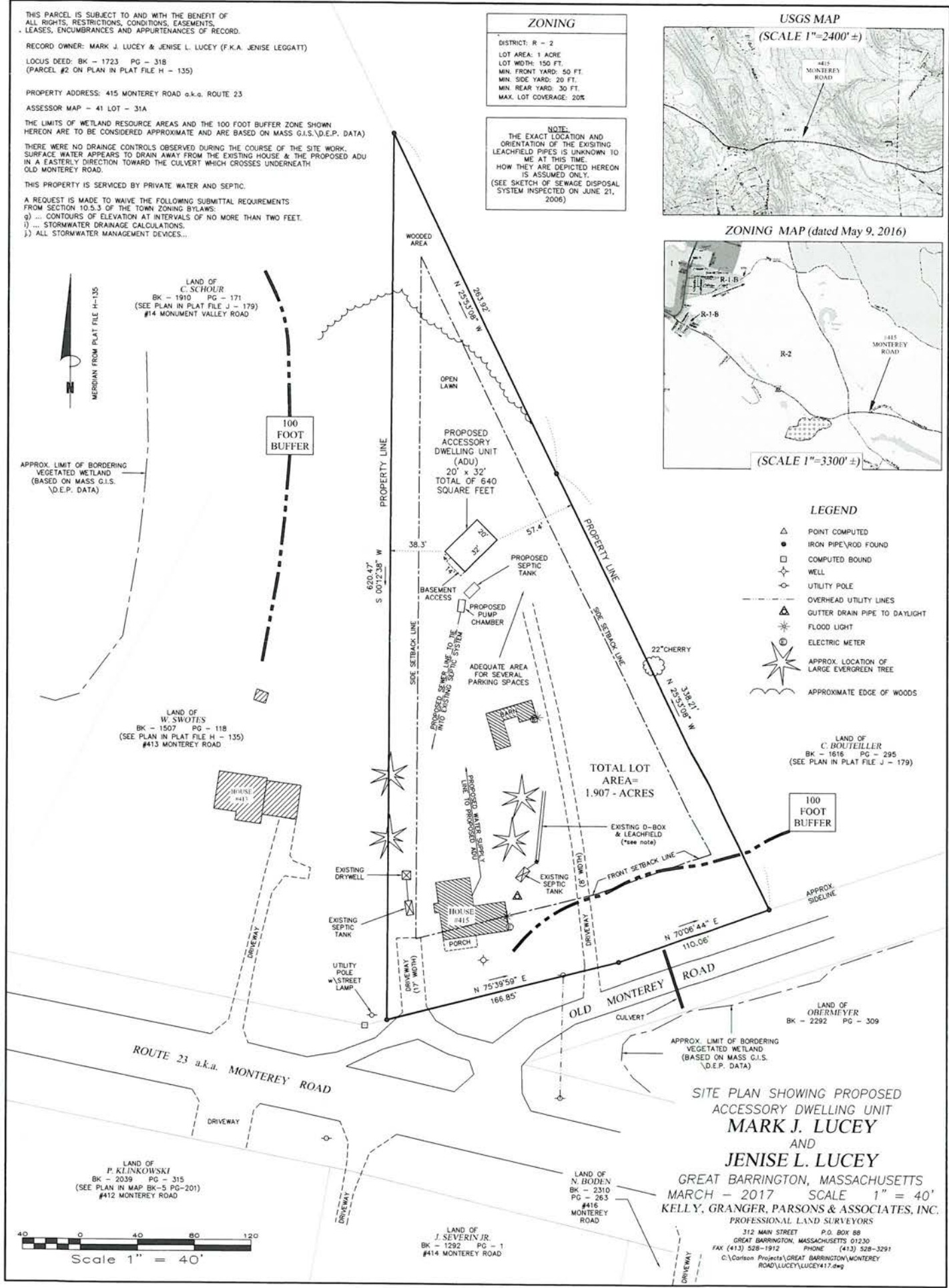
LAND OF N. BODEN
 BK - 2310 PG - 263
 #416 MONTEREY ROAD



Scale 1" = 40'

SITE PLAN SHOWING PROPOSED ACCESSORY DWELLING UNIT
MARK J. LUCEY
 AND
JENISE L. LUCEY
 GREAT BARRINGTON, MASSACHUSETTS
 MARCH - 2017 SCALE 1" = 40'
 KELLY, GRANGER, PARSONS & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS

312 MAIN STREET P.O. BOX 88
 GREAT BARRINGTON, MASSACHUSETTS 01230
 FAX (413) 528-1912 PHONE (413) 528-3291
 C:\Carlson Projects\GREAT BARRINGTON\MONTEREY ROAD\LUCEY\LUCEY417.dwg



Bruce Firger, Assessor
John Katz, Assessor

Shaun McHugh, Principal Assessor
E-mail: smchugh@townofgb.org

Carol Strommer
Administrative Assessor
E-mail: cstrommer@townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-2220 x 5
Fax: (413) 528-1026

**TOWN OF GREAT BARRINGTON
MASSACHUSETTS**

ASSESSORS' OFFICE

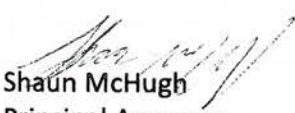
September 24, 2019

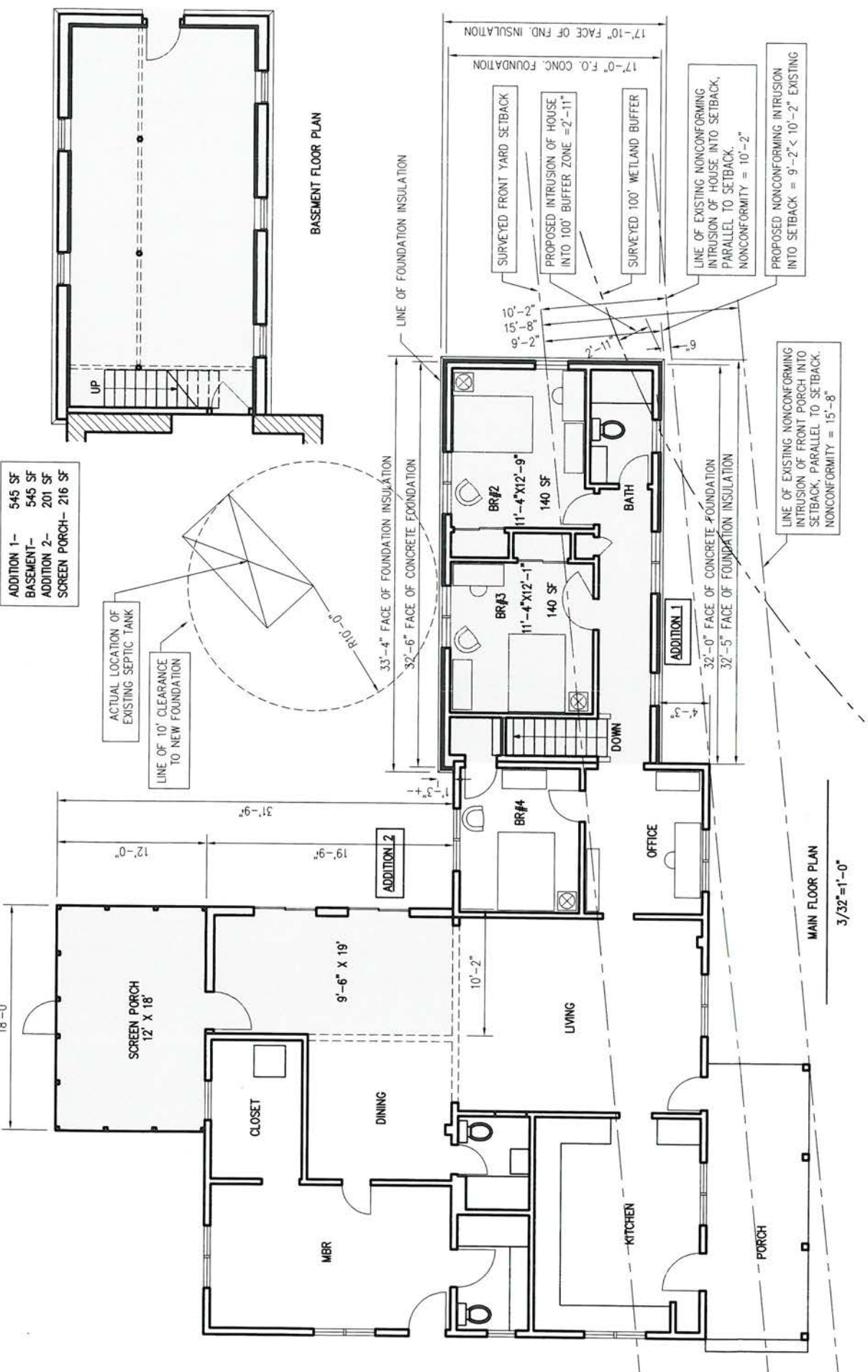
ABUTTERS TO PROPERTY OF: MARK J. LUCEY & JENISE L. LEGGATT
415 Monterey Road, Map 41 lot 31A, Book 1723 Page 318

<u>MAP</u>	<u>LOT</u>	<u>ABUTTER</u>
41	25D	Charles G. Bouteiller, PO Box 1119, Gt. Barrington, MA 01230-6119
41	29,30	Ross & Meares Partnership III, 33 Grand St., Brooklyn, NY 11249-4110
42	10D	John T. Severin Jr., PO Box 82, Gt. Barrington, MA 01230-0082
42	10F	Jake & Tanya Fink, 418 Monterey Rd., Gt. Barrington, MA 01230-1454
42	10A	Peter Klinkowski, 412 Monterey Rd., Gt. Barrington, MA 01230-1454
42	10E	Nancy A. Boden, 416 Monterey Rd., Gt. Barrington, MA 01230-1454
41	32	Werner & Izel Obermeyer, 425 Monterey Rd., Gt. Barrington, MA 01230-1456
41	21	Ellen Schour, 30 Grand Oak Rd., Orleans, MA 02653-3450
42	8	Roger E. Bailey Sr. & Sally K. Bailey, 408 Monterey Rd., Gt. Barrington, MA 01230-1454
41	31	William R. Swotes, 23 Lake Buel Rd., Gt. Barrington, MA 01230-1451
41	33A	Charles A. Bouteiller, 427 Monterey Rd., Gt. Barrington, MA 01230-1456

The above list of abutters to the subject property
is correct according to the latest records of this office.

Sincerely,


Shaun McHugh
Principal Assessor



PROJECT

Lucey Residence

Old Monterey Road
Great Barrington, MA

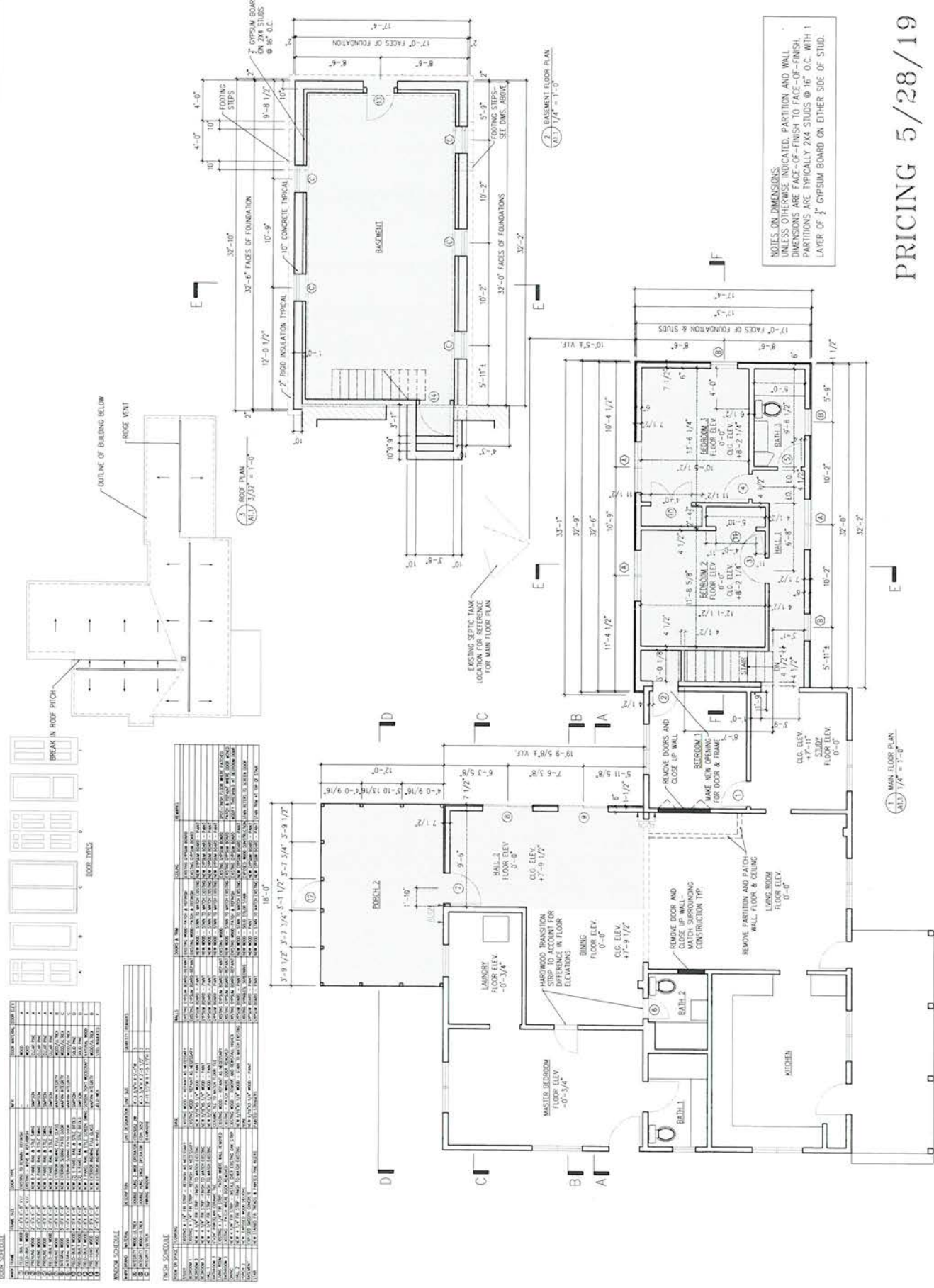
SHEET TITLE

FLOOR PLANS
REVISION 3

March 7, 2019

PRICING 5/28/19

NOTES ON DIMENSIONS:
UNLESS OTHERWISE INDICATED, PARTITION AND WALL DIMENSIONS ARE FACE-OF-FINISH TO FACE-OF-FINISH. PARTITIONS ARE TYPICALLY 2X4 STUDS @ 16" O.C. WITH 1 LAYER OF 1/2" GYPSUM BOARD ON EITHER SIDE OF STUD.

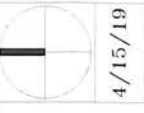
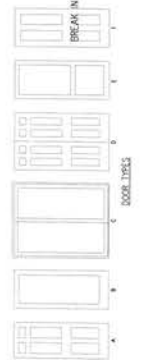


DOOR SCHEDULE

NO.	TYPE	FINISH	MARK	LOCATION
1	609	609	1	ENTRANCE
2	609	609	2	STAIR
3	609	609	3	STAIR
4	609	609	4	STAIR
5	609	609	5	STAIR
6	609	609	6	STAIR
7	609	609	7	STAIR
8	609	609	8	STAIR
9	609	609	9	STAIR
10	609	609	10	STAIR
11	609	609	11	STAIR
12	609	609	12	STAIR
13	609	609	13	STAIR
14	609	609	14	STAIR
15	609	609	15	STAIR
16	609	609	16	STAIR
17	609	609	17	STAIR
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19	609	609	19	STAIR
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26	609	609	26	STAIR
27	609	609	27	STAIR
28	609	609	28	STAIR
29	609	609	29	STAIR
30	609	609	30	STAIR
31	609	609	31	STAIR
32	609	609	32	STAIR
33	609	609	33	STAIR
34	609	609	34	STAIR
35	609	609	35	STAIR
36	609	609	36	STAIR
37	609	609	37	STAIR
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42	609	609	42	STAIR
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46	609	609	46	STAIR
47	609	609	47	STAIR
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49	609	609	49	STAIR
50	609	609	50	STAIR
51	609	609	51	STAIR
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56	609	609	56	STAIR
57	609	609	57	STAIR
58	609	609	58	STAIR
59	609	609	59	STAIR
60	609	609	60	STAIR

FINISH SCHEDULE

NO.	FINISH	MARK	LOCATION
1	609	609	ENTRANCE
2	609	609	STAIR
3	609	609	STAIR
4	609	609	STAIR
5	609	609	STAIR
6	609	609	STAIR
7	609	609	STAIR
8	609	609	STAIR
9	609	609	STAIR
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27	609	609	STAIR
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31	609	609	STAIR
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60	609	609	STAIR





4/15/19

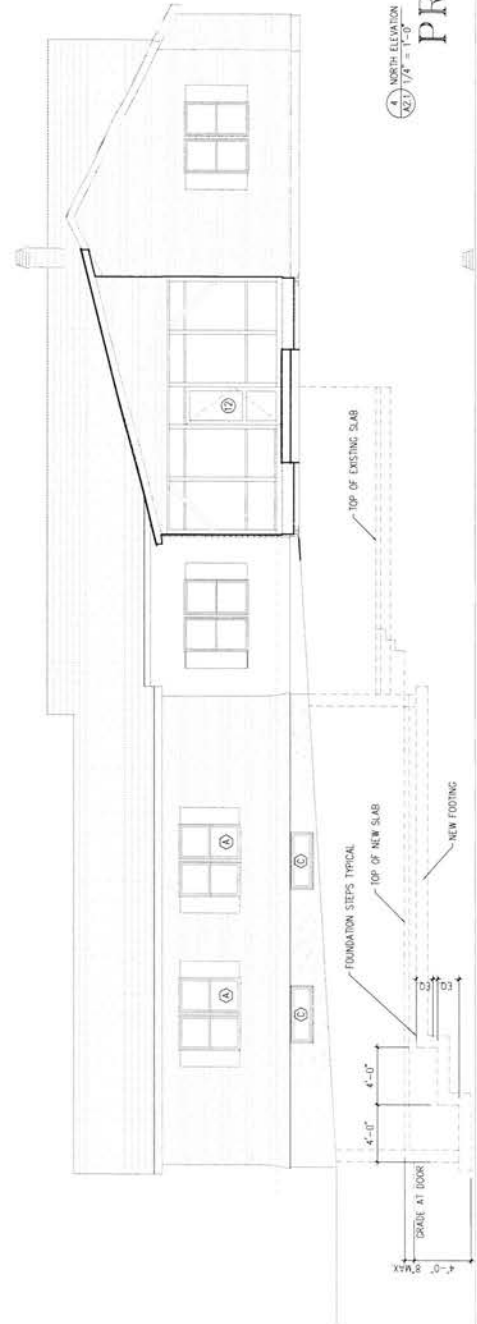
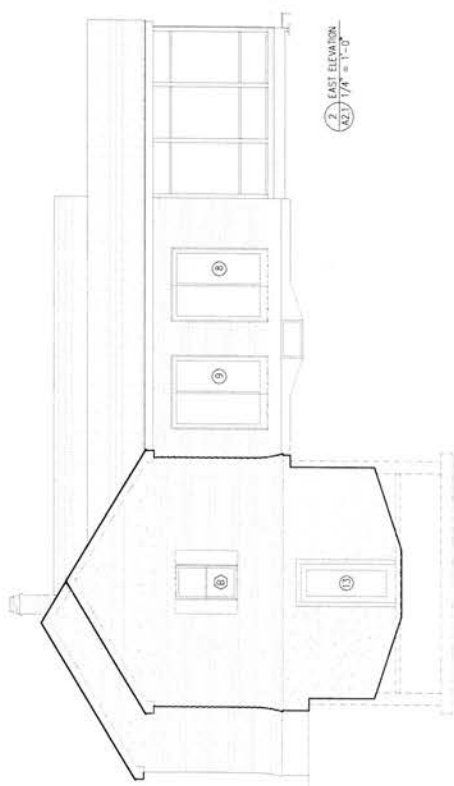
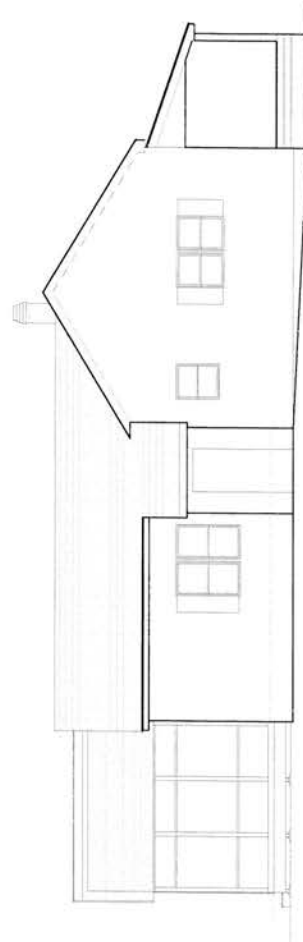
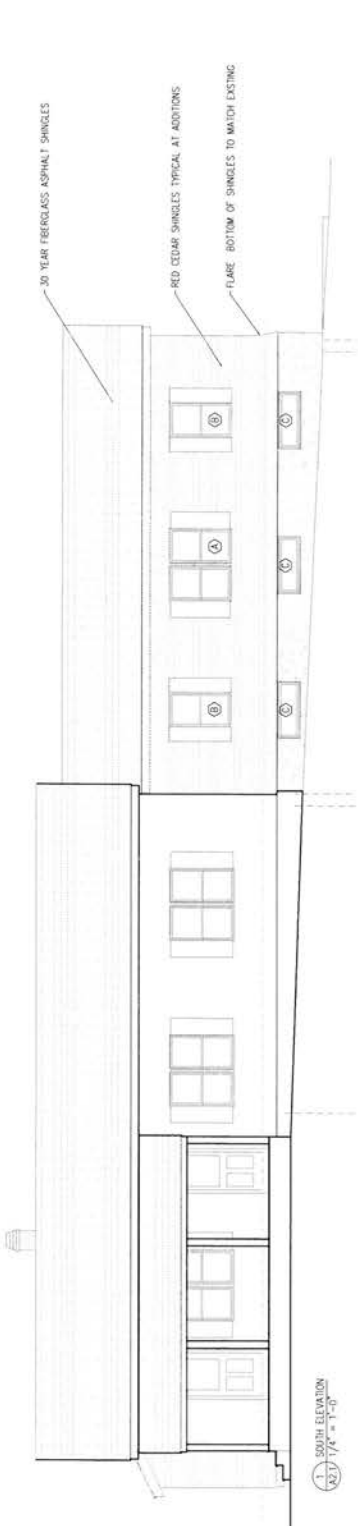
Lucey Residence

Old Monterey Road
Great Barrington, MA

BLDG.
ELEVS.

A2.1

30 YEAR FIBERGLASS ASPHALT SHINGLES
RED CEDAR SHINGLES TYPICAL AT ADDITIONS
FLARE BOTTOM OF SHINGLES TO MATCH EXISTING



PRICING 5/28/19

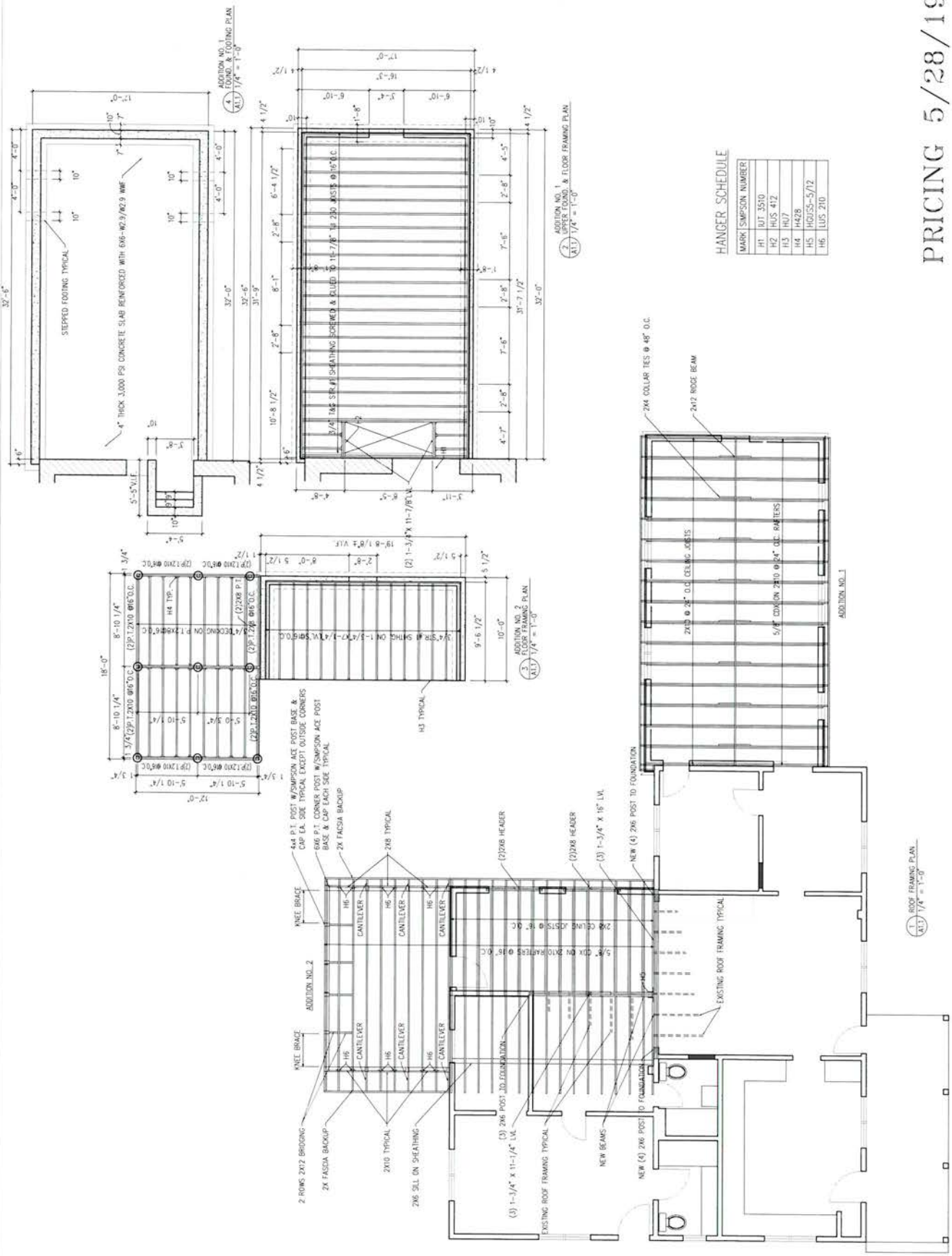


4/15/19

Lucey Residence Old Monterey Road Great Barrington, MA

FRAMING
PLANS

PRICING 5/28/19 A1.2



HANGER SCHEDULE

MARK	SIMPSON NUMBER
H1	BIT 3510
H2	HI/S 412
H3	HI/S
H4	H428
H5	HG55-5/12
H6	IUS 210

(A1.3) ROOF FRAMING PLAN
1/4" = 1'-0"

(A1.2) FLOOR FRAMING PLAN
1/4" = 1'-0"

(A1.1) FOUND. & FOOTING PLAN
1/4" = 1'-0"

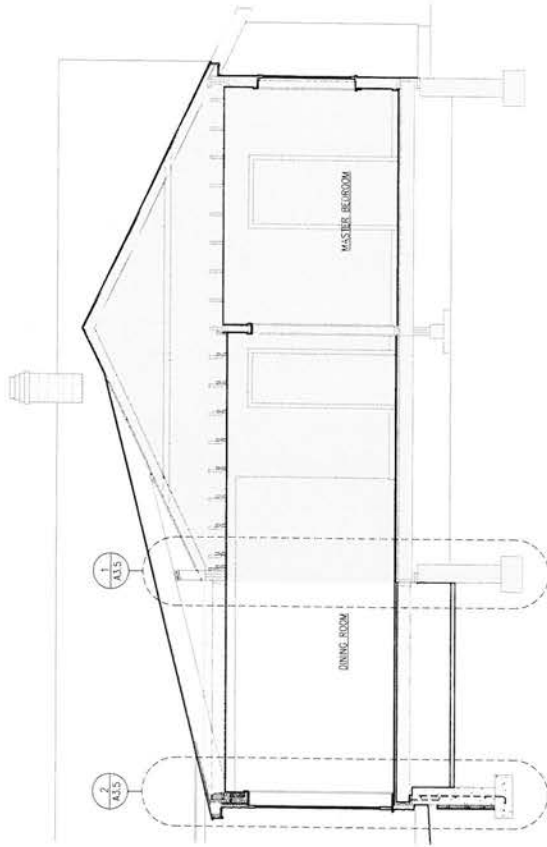


4/15/19

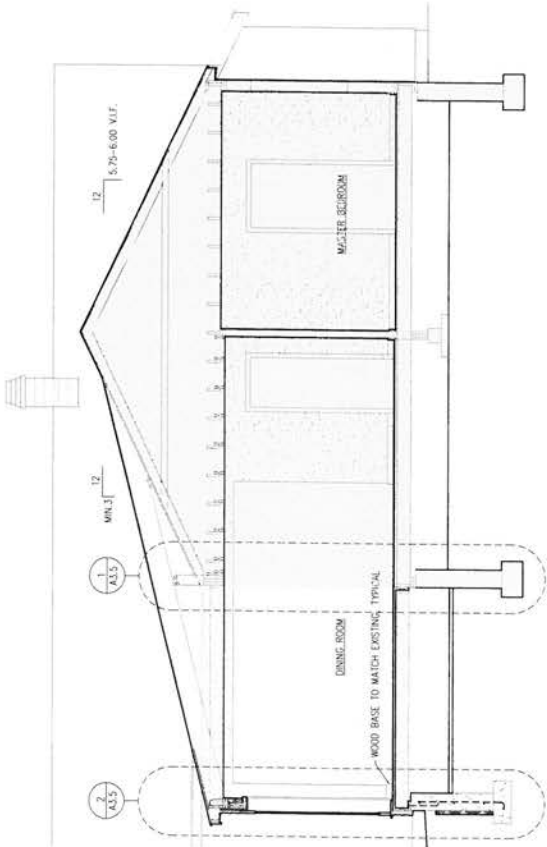
Lucey Residence Old Monterey Road Great Barrington, MA

BLDG. SECTS. - NORTH WING

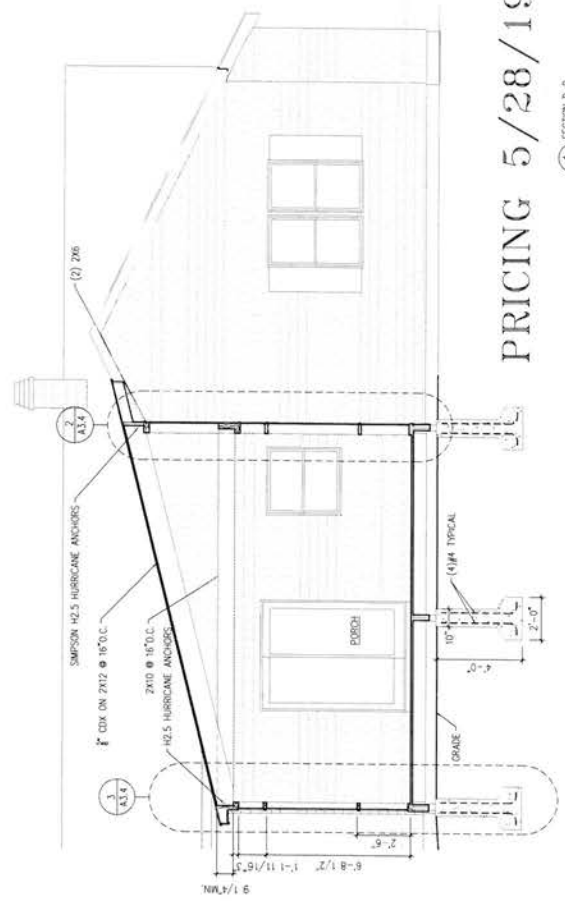
A3.1



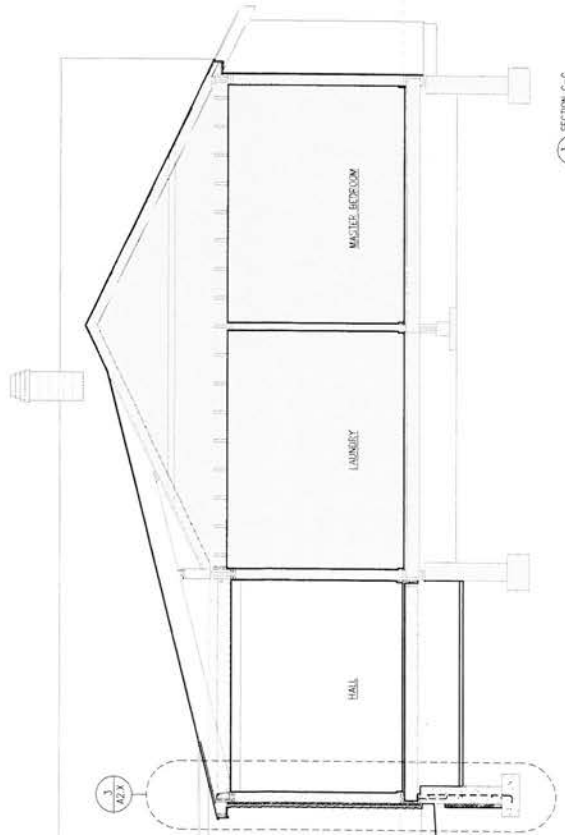
2 SECTION B-B
A3.1 3/8" = 1'-0"



1 SECTION A-A
A3.1 3/8" = 1'-0"



2 SECTION B-B
A3.1 3/8" = 1'-0"



1 SECTION C-C
A3.1 3/8" = 1'-0"

PRICING 5/28/19

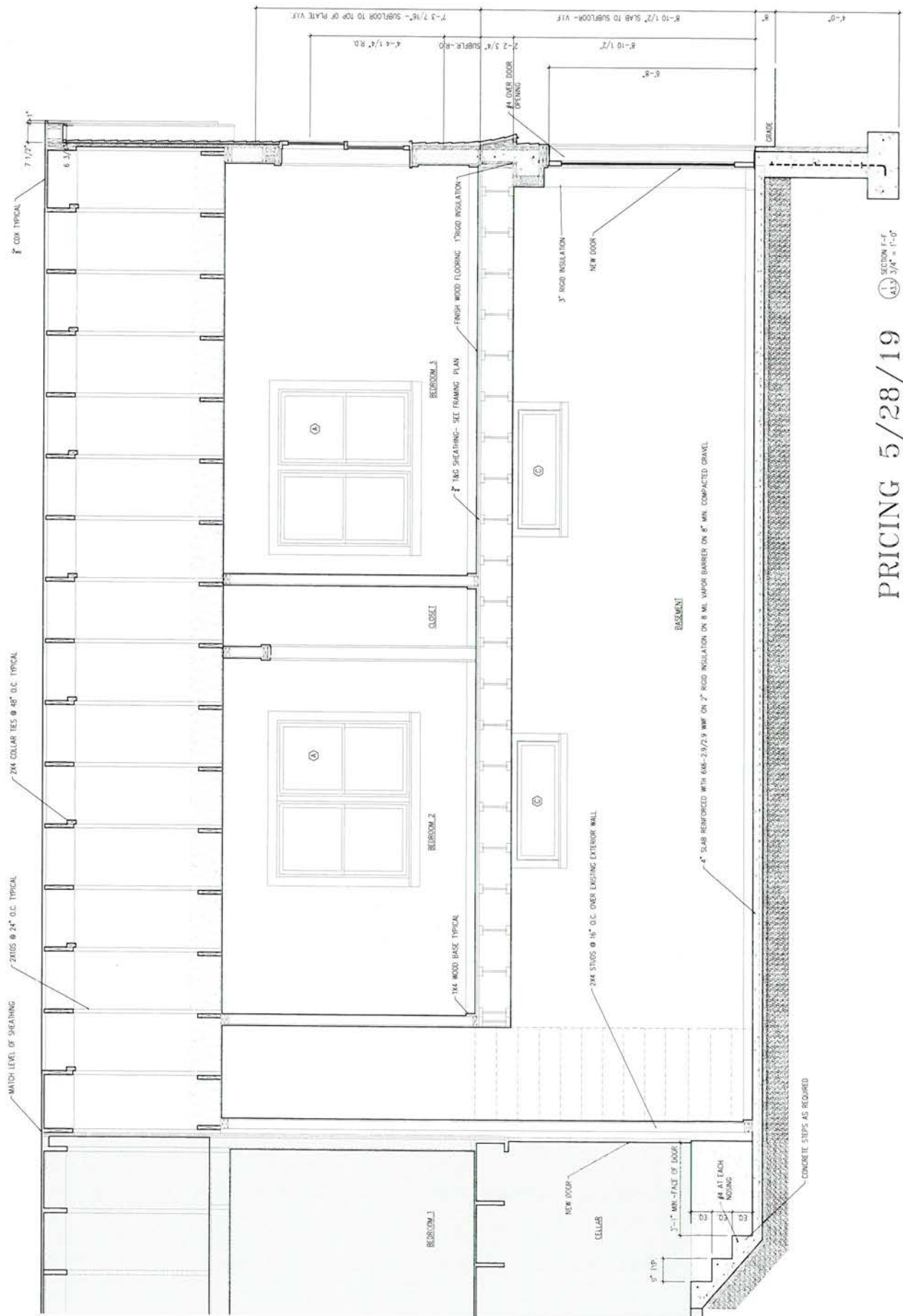


4/15/19

Lukey Residence
Old Monterey Road
Great Barrington, MA

BLDG.
SECT.-
EAST
WING

A3.3



PRICING 5/28/19

SECTION F-F
A3.3 3/4" = 1'-0"

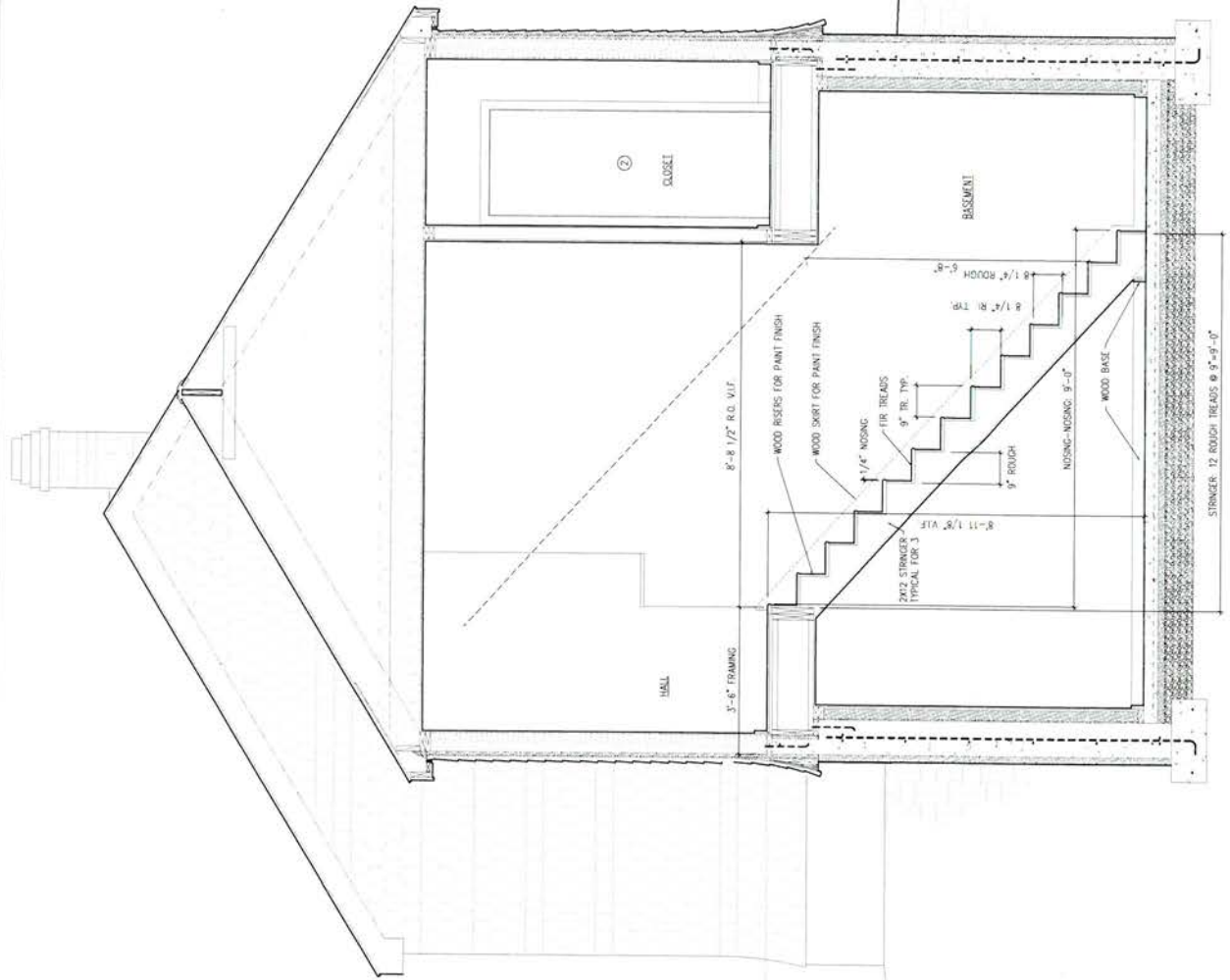


4/15/19

Lacey Residence
Old Monterey Road
Great Barrington, MA

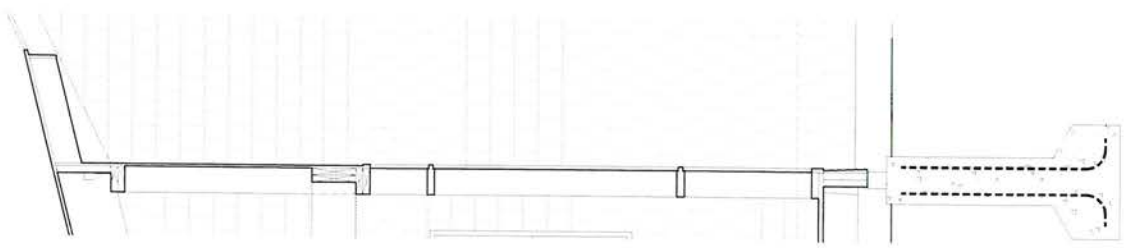
STAIR,
SECTION
& WALL
SECTIONS

A3.4

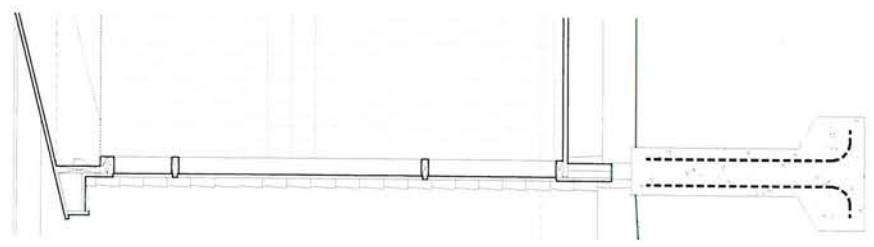


1 SECTION E-E
3/4\"/>

PRICING 5/28/19



2 SECTION E-E
3/4\"/>



3 SECTION E-E
3/4\"/>

ZBA appeal 900-19

TOWN OF GREAT BARRINGTON

NOTICE OF PUBLIC HEARING

The Great Barrington Zoning Board of Appeals will hold a public hearing on Tuesday, October 22, 2019 at 7:45 pm at Town Hall, 334 Main Street, Great Barrington, MA, to **act on the Appeal of the Building Inspector's Cease and Desist order filed by Duncan Stafford, 200 Maple Avenue, Great Barrington**, in accordance with MGL 40A, sections 8 and 15. A copy of the Appeal is on file with the Town Clerk.

Ron Majdalany, Chair

Please publish September 20 and 27, 2019

Berkshire Record

S:\All Departments\Special Permits\900-19, ZBA, Stafford Tree Service 200 Maple Ave\PH advert 900-19 ZBA.docx

SB Recommendation
Oct. 7/19

Town of Great Barrington
Massachusetts

ZBA
Rev. Apr 20

Application to the
Zoning Board of Appeals

INSTRUCTIONS

You may download this form and fill it in on your computer. Fill out all applicable information. Save and print the form, and sign it where required. When you are ready with your form and all supporting plans and materials, call the Town Planner to set up a time to file the application. You will need to submit the original and 14 full copies of the entire package. It may not be submitted electronically, but submissions made by mail are acceptable. Incomplete applications and those not accompanied by the required fee or copies may be rejected. The Town Planner can be reached at (413) 528-1619, x.7 (Note, for Comprehensive Permit applications, please call the Town Planner.)

FOR OFFICE USE ONLY

Filing Date: _____
Received and checked for completeness
by: _____
Number Assigned: _____
Date filed with the Town Clerk _____

FOR ZBA USE:

Advertising dates: _____ & _____
Public hearing date: _____

TIMELINE: The Zoning Board of Appeals (ZBA) will set a public hearing date that is at least 45 days but no more than 65 days from the date of your filing. The hearing date will be posted at Town Hall and in accordance with the Open Meetings Law, and notice of the hearing will be sent to the Applicant and/or Applicant's agent and abutting property owners by mail, and advertised for two consecutive weeks in the local newspaper.

A. WHAT ARE YOU SEEKING?

Check all that apply. If you are unsure, please consult with the Town Planner, Building Inspector, or ZBA Secretary (413-528-4953)


- VARIANCE (exempts a property from some Zoning requirements)
You must complete portions A., B., C., D., G., H., I., and J. of this form.
- SPECIAL PERMIT (for changes to nonconforming uses, structures)
You must complete portions A., B., C., E., G., H., I., and J. of this form.
- APPEAL (to overturn a decision of Building Inspector or a Board)
You must complete portions A., B., C., F., G., H., I., and J. of this form.
- 40 B Comprehensive Permit (call ahead)

B. SITE / PROPERTY INFORMATION

Address of Subject Property 200 maple Ave
Assessor's Map No. 23 Lot No. 8
Registry of Deeds Book No: 825 Page: 254
Zoning District(s) R2
Overlay Districts (if any) _____

C. APPLICANT AND OWNER INFORMATION

Applicant's
Information

Name (please print) Duncan Stafford Phone (area code first) 413.429.7850
Street Address 200 maple Ave
City, State, Zip Code Great Barrington, MA, 01230
If Applicant is a corporation, provide name of contact person: _____
Email Address Staffordas@gmail.com Signature 

- Check here if Applicant and Property Owner are the same, and skip to the next section.
- Check here if Applicant is different than the Property Owner, and to verify that you have the Property Owner's permission to file this Application. Note that the Property Owner must sign below to indicate permission to file this Application.

Enter Property Owner's information EXACTLY as it appears on the most recent tax bill.

Property
Owner's
Information

Name (please print) JUDITH B. STAFFORD Phone (area code first) 413-528-6331
Street Address 200 MAPLE AVENUE
City, State, Zip Code GREAT BARRINGTON, MA 01230
Email Address jstafford@wingateltel.com Signature Judith B. Stafford

D. VARIANCES If you are requesting a variance, please answer all of the following. Attach additional sheets if necessary.

- 1) From which Section(s) of the Zoning Bylaw do you request a variance?
- 2) What will the requested variance(s) enable you to do?
- 3) If the variance(s) is not granted, what hardship will that cause you?
- 4) What special circumstances relating to soil condition, shape or topography of land or structures, affect your property but not other properties in the same zone?
- 5) Explain why your special circumstances are not a result of your own actions.
- 6) If the variance(s) is not granted, what rights will you be deprived of that other properties in the same zone enjoy?
- 7) Explain why a variance will not give you any special privileges that other properties in the same zoning district don't have.

E. SPECIAL PERMITS If you are requesting a special permit, please answer all of the following. Attach additional sheets if necessary.

- 1) A special permit is being requested in order to (please describe project):
- 2) This application is made under the following Sections of the Zoning Bylaw (check all that apply)

<input type="checkbox"/> Section 5.2	<input type="checkbox"/> Section 5.3	<input type="checkbox"/> Section 5.5
<input type="checkbox"/> Section 5.6	<input type="checkbox"/> Section 5.7	<input checked="" type="checkbox"/> Section 10.4
- 3) Reason(s) that this property is not in conformance with the Zoning Bylaw
- 4) Are there any previous Special Permits or Variances for this property? No Yes
If yes, provide date(s), and name of issuing Board

F. APPEALS If you are seeking an appeal, please answer all of the following. Attach additional sheets if necessary.

- 1) This application is to appeal the decision of Building Inspector Planning Board Board of Selectmen
- 2) Date of decision
- 3) Nature of the decision
- 4) Applicable Section(s) of the Zoning Bylaw

Describe your interpretation of the nature of the decision and the remedy you seek. Attach additional sheets if needed.

G. REQUIREMENTS FOR ALL APPLICATIONS

By checking the items below, applicant acknowledges that each application is accompanied by each of the items listed below.

- Plot Plan of the entire property or tract. The Board may require the plan to be signed by a licensed surveyor or engineer, particularly if the matter involves dimensional issues. The plan should include those items listed in Section 10.5.3 of the Zoning Bylaw, including two locus maps--one USGS survey map and one current zoning map-- illustrating property location.
- A current list of all abutters within 300 feet of the property, including address of owner, map and lot number. The list must be obtained from the Assessor's office and certified by the Assessor's office. Call 413-528-1619, x. 5.
- At least one copy of the application and plans / specifications shall be no larger than 11 x 17 inches.

H. APPLICATION FEE

Application fees are calculated at \$150 per request. (For example, if one box in A. is checked, the fee is \$150. For two boxes, the fee is \$300.)

- Check here to confirm that your check in the appropriate amount is enclosed. Make checks payable to Town of Great Barrington.

I. TECHNICAL REVIEW FEES

- The Zoning Board of Appeals may hire independent consultants whose services shall be paid for by the applicant(s) under the term of the Rules and Regulations of the Zoning Board of Appeals, and in accordance with Chapter 44, Section 53G of the Massachusetts General Laws. Check here to acknowledge and be bound by these regulations. Failure to acknowledge shall cause this application to be rejected as incomplete. *Please also sign here:* _____

J. ADDITIONAL INFORMATION

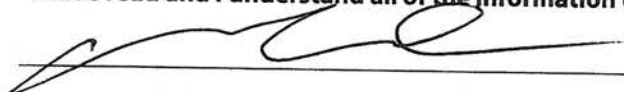
Recommending Boards: All applications to the Zoning Board of Appeals are referred to the Planning Board, Conservation Commission, Board of Health, and Board of Selectmen for comments and recommendations. Applicants should be prepared to attend those meetings in order to brief those boards of their project and answer any questions.

Site Visits: The ZBA and recommending Boards may contact the Applicant to request a site visit. Applicants agree to facilitate access to the site at a mutually convenient date and time.

Timeline/ Procedures: The ZBA conducts its business in accordance with Massachusetts General Laws. Accordingly, the ZBA will hold its Public Hearing not later than 65 days after the filing of the application. A decision for a variance or appeal will be rendered not later than 100 days from the filing date. A decision for a special permit will be made not later than 90 days after the close of the Public Hearing. The decision will be filed with the Town Clerk within 20 days of the date of the decision. The appeal period lasts for 20 days after the filing with the Town Clerk. On the 21st day, if no appeals are filed, or once all appeals are resolved, the applicant shall have the decision certified by the Town Clerk. The Applicant is responsible for then filing the decision with the Registry of Deeds, at which time the decision becomes effective.

Guidance and Counsel: In preparing this application and when presenting the case to the ZBA, applicants are advised to be fully familiar with, or seek counsel from a qualified person who is familiar with, the Zoning Bylaw and other rules, regulations, and laws as may be appropriate. If you wish to discuss the completeness of this application, or have any questions about this application, please contact the Town Planner at 413-528-1619, x. 7. However, we will not discuss the merits or strategy of your case.

Applicant's Signature: "I have read and I understand all of the information on this application."

 (signed) 9-4-19 (date)

Print Form

Need Help?

Town Planner: (413) 528-1619, x.7
Building Inspector / Zoning Enforcement Officer:
(413) 528-3206

For bylaws, regulations, maps, and other useful information, visit www.townofgb.org

Edwin A. May
Inspector of Buildings

E-mail: emay@townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-3206
Fax: (413) 528-3064

**TOWN OF GREAT BARRINGTON
MASSACHUSETTS**

OFFICE OF THE INSPECTOR OF BUILDINGS

July 29, 2019

BY CERTIFIED MAIL
RETURN RECEIPT REQUESTED
NO. 70183090000093562500
And FIRST CLASS MAIL

Stafford Tree Service
C/O Judith Baldwin Stafford
200 Maple Ave
Great Barrington, MA 01230

**Re: Notice of Zoning Bylaw Enforcement: 200 Maple Ave., Great Barrington
Assessors' map references: Map 23, lot 8**

Dear Sir;

This is a notice to CEASE AND DESIST the use of your property located at 200 Maple Ave., Great Barrington, Assessors' Map 23, lot 8, (the "Property"), as a commercial use Contractor's Yard in a residential district. The reasons for this are as follows:

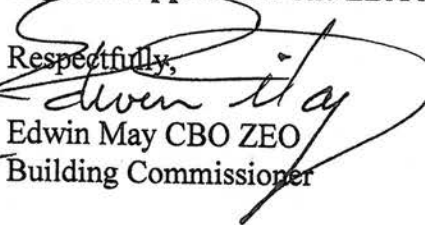
Violation: The Property is located in a residential district known as R-2, and your property listed as a single family dwelling. According to the Great Barrington Zoning Bylaw, commercial trucking, Contractor's Yard is not a use allowed in any residential district. Operation of commercial trucking, Contractor Yard is evidenced by the attached photo of several commercial trucks parked after hours in a residential district with accessory equipment.

Order: In accordance with the foregoing, you are hereby directed to cease and desist the use of the Property for commercial trucking, contractor's yard within 15 days of the date of this letter.

Remedy: The prohibited use must cease immediately.

Right of Appeal: To The ZBA As per MGL 40A §8 and 15 within 30 days

Respectfully,


Edwin May CBO ZEO
Building Commissioner



200 Maple St.
Stafford Tree Service
7-30-19



staffordtree . <staffordos@gmail.com>

ZBA SP

1 message

Edwin May <EMay@townofgb.org>
To: "staffordos@gmail.com" <staffordos@gmail.com>

Thu, Aug 8, 2019 at 11:15 AM

Duncan,

Thanks for coming in to chat about receipt of the non-conforming activities violation letter at 200 Maple Ave. Here is the follow-up email with ZBA application and instructions attached above. The 15 day time period to act has been satisfied by your office visit, 8/8/19. The town is awaiting submission of the ZBA application for Special Permit to operate a 'contractor's yard' out of 200 Maple Ave.

Edwin A. May CBO ZEO

Building Commissioner

Town of Great Barrington

334 Main Street

Great Barrington, MA 01230

(413) 528-3206

emay@townofgb.org

 **ZBA application _2019.pdf**
1414K

Bruce Firger, Assessor
John Katz, Assessor

Shaun McHugh, Principal Assessor
E-mail: smchugh@townofgb.org

Carol Strommer
Administrative Assessor
E-mail: cstrommer@townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-2220 x 5
Fax: (413) 528-1026

TOWN OF GREAT BARRINGTON MASSACHUSETTS

ASSESSORS' OFFICE

August 28, 2019

ABUTTERS TO PROPERTY OF: JUDITH BALDWIN STAFFORD
200 Maple Avenue, Map 23 Lot 8, Book 825 Page 254

MAP	LOT	ABUTTER
21	17	David & Beverly Hosokawa, 41 Berkshire Heights Rd., Gt. Barrington, MA 01230-1543
21	41A	Lois Kramer Hartwick, 188 Maple Ave., Gt. Barrington, MA 01230-1906
23	7,9	David R. & Patricia J. Sharpe, 194 Maple Ave., Gt. Barrington, MA 01230-1922
23	6A	Sanford L. Smith & Jill Bokor, 447 West 24 th St., New York, NY 10011-1253
24	1	Riverhill Farm Properties LLC, 615 South Egremont Rd., Gt. Barrington, MA 01230-1931
24	3,4	John B. Vanwagner, 1 Newsboy Monument Lane, Gt. Barrington, MA 01230-1936
24	2	Marc Hochler & Amanda Hanlin-Hochler, PO Box 656, Gt. Barrington, MA 01230-0656

The above list of abutters to the subject property is correct according to the latest records of this office.

Sincerely,


Shaun McHugh
Principal Assessor

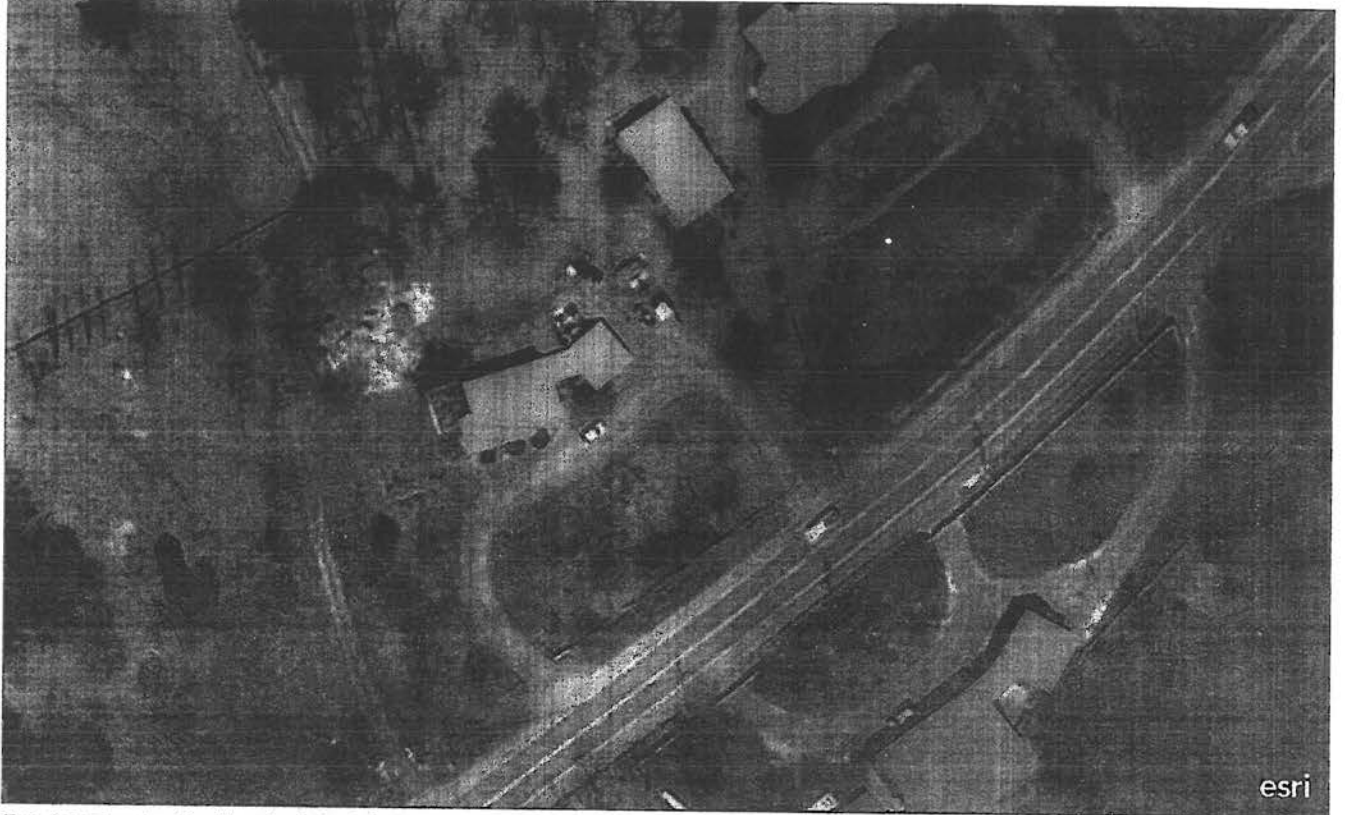
TOWN OF GREAT BARRINGTON
Board of Assessors
334 Main Street Room 205
Great Barrington, MA 01230-1831

#1395

Date	Services	Amount
9/5/2019	Received for Abutters List for 200 Maple Ave.	

TOTAL \$ 25⁰⁰

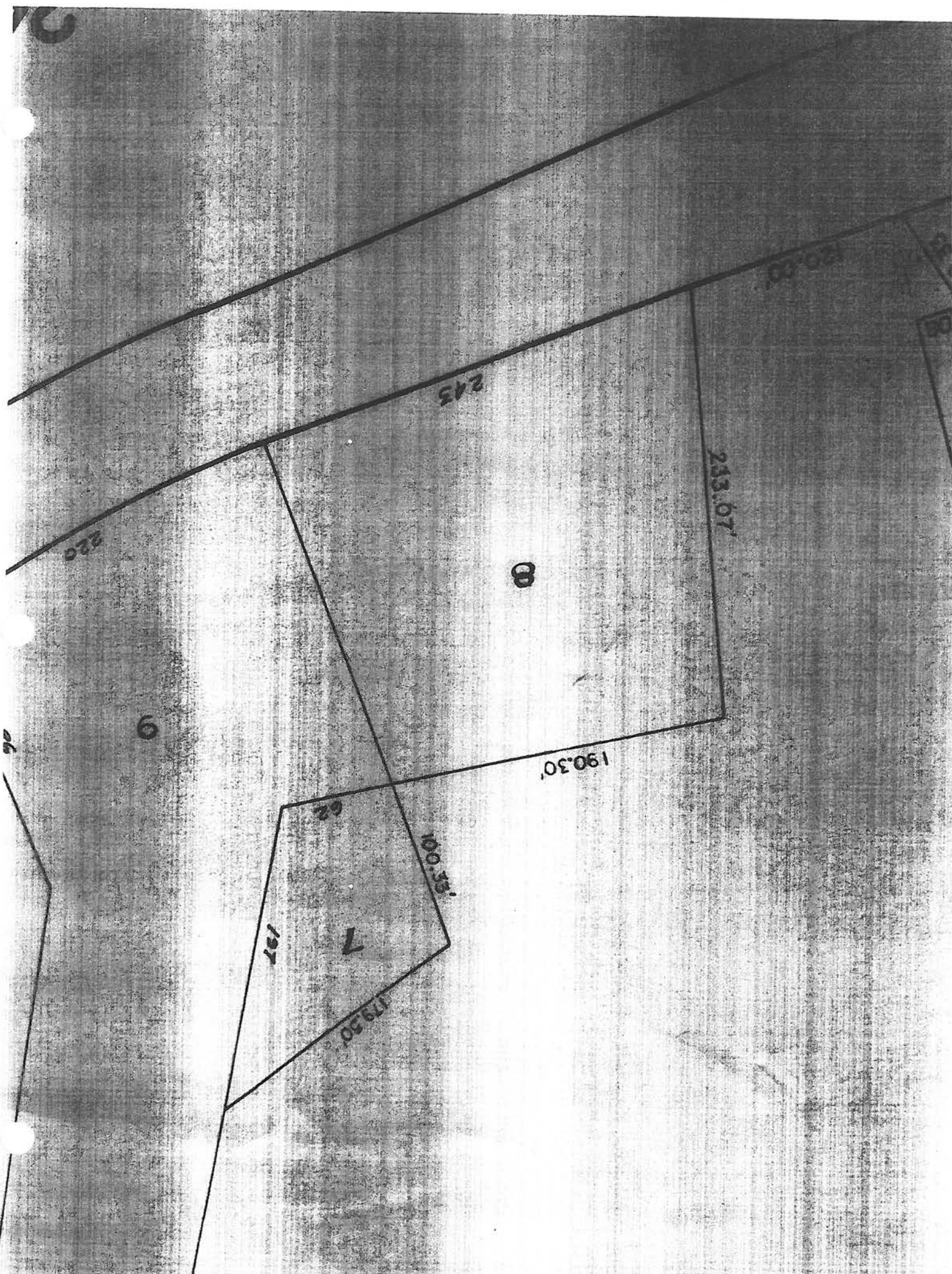
MassGIS Structures (2-D Buildings)

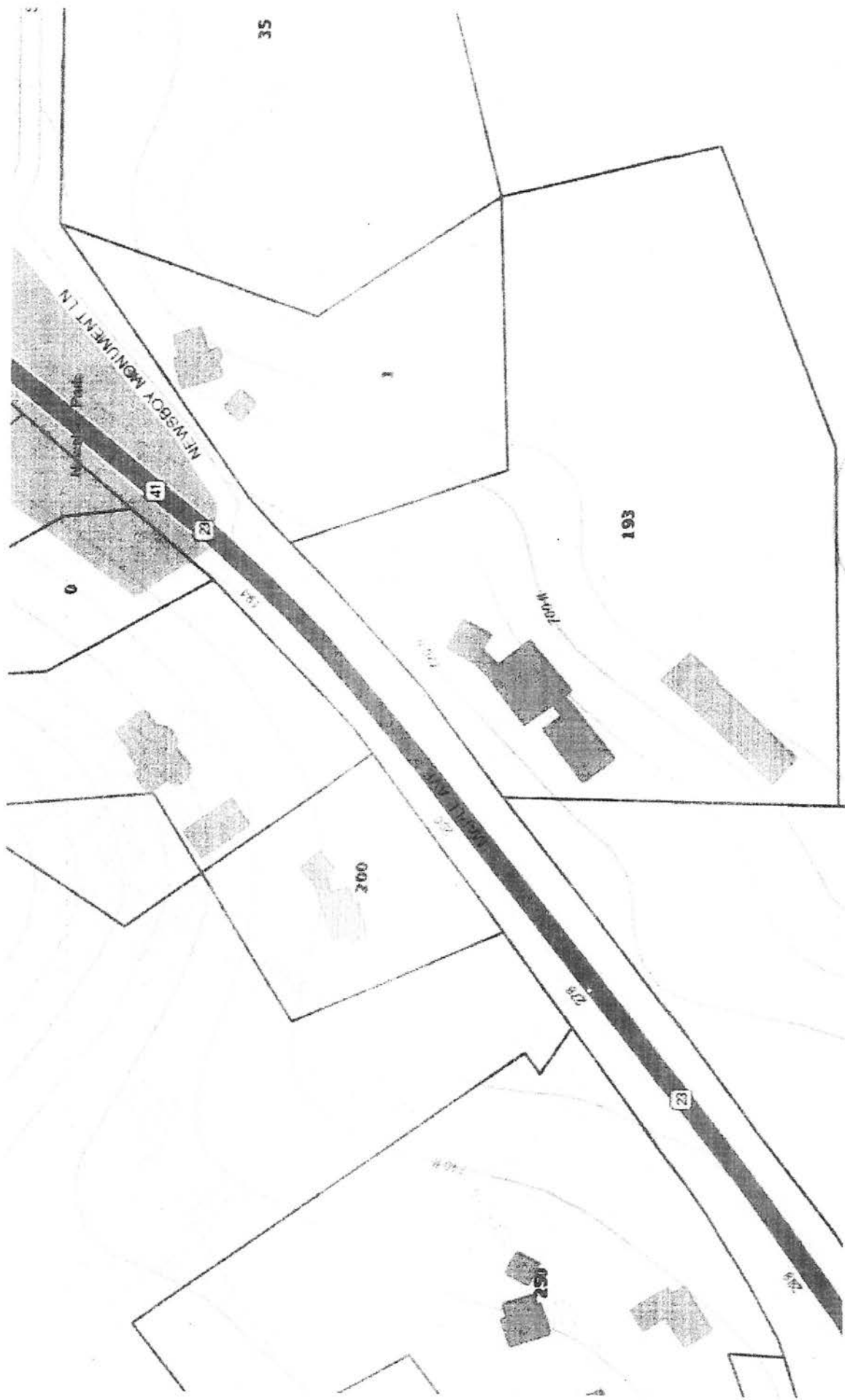


Two-dimensional roof outlines (roofprints) for buildings larger than 150 square feet in Massachusetts.

60ft

MassGIS | USGS, MassGIS





35

NEWBOY MONUMENT LN

E

23

193

200

700M

278

23

250

262

ZBASPH 899-19

TOWN OF GREAT BARRINGTON

NOTICE OF PUBLIC HEARING

The Great Barrington Zoning Board of Appeals will hold a public hearing on Tuesday, October 22, 2019 at 7:30 pm at Town Hall, 334 Main Street, Great Barrington, MA, to act on the special permit application from Robert W. Brownson, 495 Home Road, Sheffield, for a special permit to extend a preexisting nonconforming use, to allow a solid waste hauler operation at 57 Van Deusenville Road, Great Barrington. This application is filed per Sections 5.2 and 10.4 of the Zoning Bylaw A copy of the application is on file with the Town Clerk.

Ron Majdalany, Chair

Please publish September 20 and 27, 2019

Berkshire Record

S:\All Departments\Special Permits\899-19, ZBA, Brownson 57 Van Deusenville RD\PH advert 899-19 ZBA.docx

SB Recommendation
Oct. 7/19



Town of Great Barrington Massachusetts

ZBA Rev. July 20

Application to the Zoning Board of Appeals

TOWN CLERK GREAT BARRINGTON AUG 16 2019 AM

INSTRUCTIONS

You may download this form and fill it in on your computer. Fill out all applicable information. Save and print the form, and sign it where required. When you are ready with your form and all supporting plans and materials, call the Town Planner to set up a time to file the application. You will need to submit the original and 14 full copies of the entire package. It may not be submitted electronically, but submissions made by mail are acceptable. Incomplete applications and those not accompanied by the required fee or copies may be rejected. The Town Planner can be reached at (413) 528-1619, x.7 (Note, for Comprehensive Permit applications, please call the Town Planner.)

FOR OFFICE USE ONLY

Filing Date: Received and checked for completeness by: Number Assigned: Date filed with the Town Clerk: FOR ZBA USE: Advertising dates: Public hearing date:

TIMELINE: The Zoning Board of Appeals (ZBA) will set a public hearing date that is at least 45 days but no more than 65 days from the date of your filing. The hearing date will be posted at Town Hall and in accordance with the Open Meetings Law, and notice of the hearing will be sent to the Applicant and/or Applicant's agent and abutting property owners by mail, and advertised for two consecutive weeks in the local newspaper.

A. WHAT ARE YOU SEEKING?

Check all that apply. If you are unsure, please consult with the Town Planner, Building Inspector, or ZBA Secretary (413-528-4953)

- VARIANCE (exempts a property from some Zoning requirements)
SPECIAL PERMIT (for changes to nonconforming uses, structures)
APPEAL (to overturn a decision of Building Inspector or a Board)

B. SITE / PROPERTY INFORMATION

Address of Subject Property 57 Andersonville Rd Hous
Assessor's Map No. 27 Lot No. 10 E
Registry of Deeds Book No: 2525 Page: 324
Zoning District(s) R2-1ACR RES.
Overlay Districts (if any)

C. APPLICANT AND OWNER INFORMATION

Applicant's Information

Name (please print) ROBERT W BROWNSON Phone (area code first) 413-854-1289
Street Address 495 Home Rd
City, State, Zip Code SUFFERFIELD MA 01257
If Applicant is a corporation, provide name of contact person: ROB BROWNSON
Email Address Roger Trucking at RoadRunner.com Signature

- Check here if Applicant and Property Owner are the same, and skip to the next section.
Check here if Applicant is different than the Property Owner, and to verify that you have the Property Owner's permission to file this Application. Note that the Property Owner must sign below to indicate permission to file this Application.

Enter Property Owner's information EXACTLY as it appears on the most recent tax bill.

Property Owner's Information

Name (please print) Richard B Atwood Jr. Phone (area code first) 413-329-36
Street Address 155 Pixley Rd
City, State, Zip Code Monterey MA 01245
Email Address AACemetry Services@gmail.com Signature

D. VARIANCES If you are requesting a variance, please answer all of the following. Attach additional sheets if necessary.

- 1) From which Section(s) of the Zoning Bylaw do you request a variance?
- 2) What will the requested variance(s) enable you to do?
- 3) If the variance(s) is not granted, what hardship will that cause you?
- 4) What special circumstances relating to soil condition, shape or topography of land or structures, affect your property but not other properties in the same zone?
- 5) Explain why your special circumstances are not a result of your own actions.
- 6) If the variance(s) is not granted, what rights will you be deprived of that other properties in the same zone enjoy?
- 7) Explain why a variance will not give you any special privileges that other properties in the same zoning district don't have.

E. SPECIAL PERMITS If you are requesting a special permit, please answer all of the following. Attach additional sheets if necessary.

- 1) A special permit is being requested in order to (please describe project):
- 2) This application is made under the following Sections of the Zoning Bylaw (check all that apply)

<input checked="" type="checkbox"/> Section 5.2	<input type="checkbox"/> Section 5.3	<input type="checkbox"/> Section 5.5
<input type="checkbox"/> Section 5.6	<input type="checkbox"/> Section 5.7	<input checked="" type="checkbox"/> Section 10.4
- 3) Reason(s) that this property is not in conformance with the Zoning Bylaw
- 4) Are there any previous Special Permits or Variances for this property?

<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
If yes, provide date(s), and name of issuing Board <input type="text" value="ZBA - 7/23/19"/>	

F. APPEALS If you are seeking an appeal, please answer all of the following. Attach additional sheets if necessary.

- 1) This application is to appeal the decision of Building Inspector Planning Board Board of Selectmen
- 2) Date of decision
- 3) Nature of the decision
- 4) Applicable Section(s) of the Zoning Bylaw
- 5) Describe your interpretation of the nature of the decision and the remedy you seek. Attach additional sheets if needed.

G. REQUIREMENTS FOR ALL APPLICATIONS

By checking the items below, applicant acknowledges that each application is accompanied by each of the items listed below.

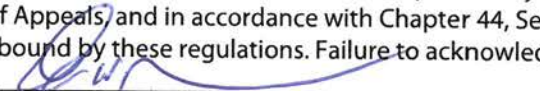
- Plot Plan of the entire property or tract. The Board may require the plan to be signed by a licensed surveyor or engineer, particularly if the matter involves dimensional issues. The plan should include those items listed in Section 10.5.3 of the Zoning Bylaw, including two locus maps--one USGS survey map and one current zoning map-- illustrating property location.
- A current list of all abutters within 300 feet of the property, including address of owner, map and lot number. The list must be obtained from the Assessor's office and certified by the Assessor's office. Call 413-528-1619, x. 5.
- At least one copy of the application and plans / specifications shall be no larger than 11 x 17 inches.

H. APPLICATION FEE

Application fees are calculated at \$150 per request. (For example, if one box in A. is checked, the fee is \$150. For two boxes, the fee is \$300.)

- Check here to confirm that your check in the appropriate amount is enclosed. Make checks payable to Town of Great Barrington.

I. TECHNICAL REVIEW FEES

- The Zoning Board of Appeals may hire independent consultants whose services shall be paid for by the applicant(s) under the terms of the Rules and Regulations of the Zoning Board of Appeals and in accordance with Chapter 44, Section 53G of the Massachusetts General Laws. Check here to acknowledge and be bound by these regulations. Failure to acknowledge shall cause this application to be rejected as incomplete. Please also sign here: 

J. ADDITIONAL INFORMATION


Recommending Boards: All applications to the Zoning Board of Appeals are referred to the Planning Board, Conservation Commission, Board of Health, and Board of Selectmen for comments and recommendations. Applicants should be prepared to attend those meetings in order to brief those boards of their project and answer any questions.

Site Visits: The ZBA and recommending Boards may contact the Applicant to request a site visit. Applicants agree to facilitate access to the site at a mutually convenient date and time.

Timeline/ Procedures: The ZBA conducts its business in accordance with Massachusetts General Laws. Accordingly, the ZBA will hold its Public Hearing not later than 65 days after the filing of the application. A decision for a variance or appeal will be rendered not later than 100 days from the filing date. A decision for a special permit will be made not later than 90 days after the close of the Public Hearing. The decision will be filed with the Town Clerk within 20 days of the date of the decision. The appeal period lasts for 20 days after the filing with the Town Clerk. On the 21st day, if no appeals are filed, or once all appeals are resolved, the applicant shall have the decision certified by the Town Clerk. The Applicant is responsible for then filing the decision with the Registry of Deeds, at which time the decision becomes effective.

Guidance and Counsel: In preparing this application and when presenting the case to the ZBA, applicants are advised to be fully familiar with, or seek counsel from a qualified person who is familiar with, the Zoning Bylaw and other rules, regulations, and laws as may be appropriate. If you wish to discuss the completeness of this application, or have any questions about this application, please contact the ZBA's Secretary, _____, or the Town Planner at 413-528-1619, x. 7. However, we will not discuss the merits or strategy of your case.

Applicant's Signature: "I have read and I understand all of the information on this application."

 (signed) 8/9/19 (date)

Print Form

Need Help? Just call us.

Town Planner: (413) 528-1619, x.7

Building Inspector / Zoning Enforcement Officer:
(413) 528-3206

ZBA Secretary: (413) 528-4953

For bylaws, regulations, maps, and other useful information, visit us online at www.townofgb.org

Bruce Firger, Assessor
John Katz, Assessor

Shaun McHugh, Principal Assessor
E-mail: smchugh@townofgb.org

Carol Strommer
Administrative Assessor
E-mail: cstrommer@townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-2220 x 5
Fax: (413) 528-1026

TOWN OF GREAT BARRINGTON MASSACHUSETTS

ASSESSORS' OFFICE

August 23, 2019

ABUTTERS TO PROPERTY OF: RICHARD B & HEATHER J. ATWOOD
Roger Trucking, Robert Brownson
57 Van Deusenville Road, Map 27 Lot 10E, Book 2525 Pg. 324

<u>MAP</u>	<u>LOT</u>	<u>ABUTTER</u>
5	4	Amerigas Propane LP, PO Box 798, Valley Forge, PA 19482-0798
27	10,10A,10B,10F	Jeanne Bachetti, 1710 County Rd, Gt. Barrington, MA 01230-9318
26	29A	Town of Great Barrington, 334 Main St. Room 208, Gt. Barrington, MA 01230-1832

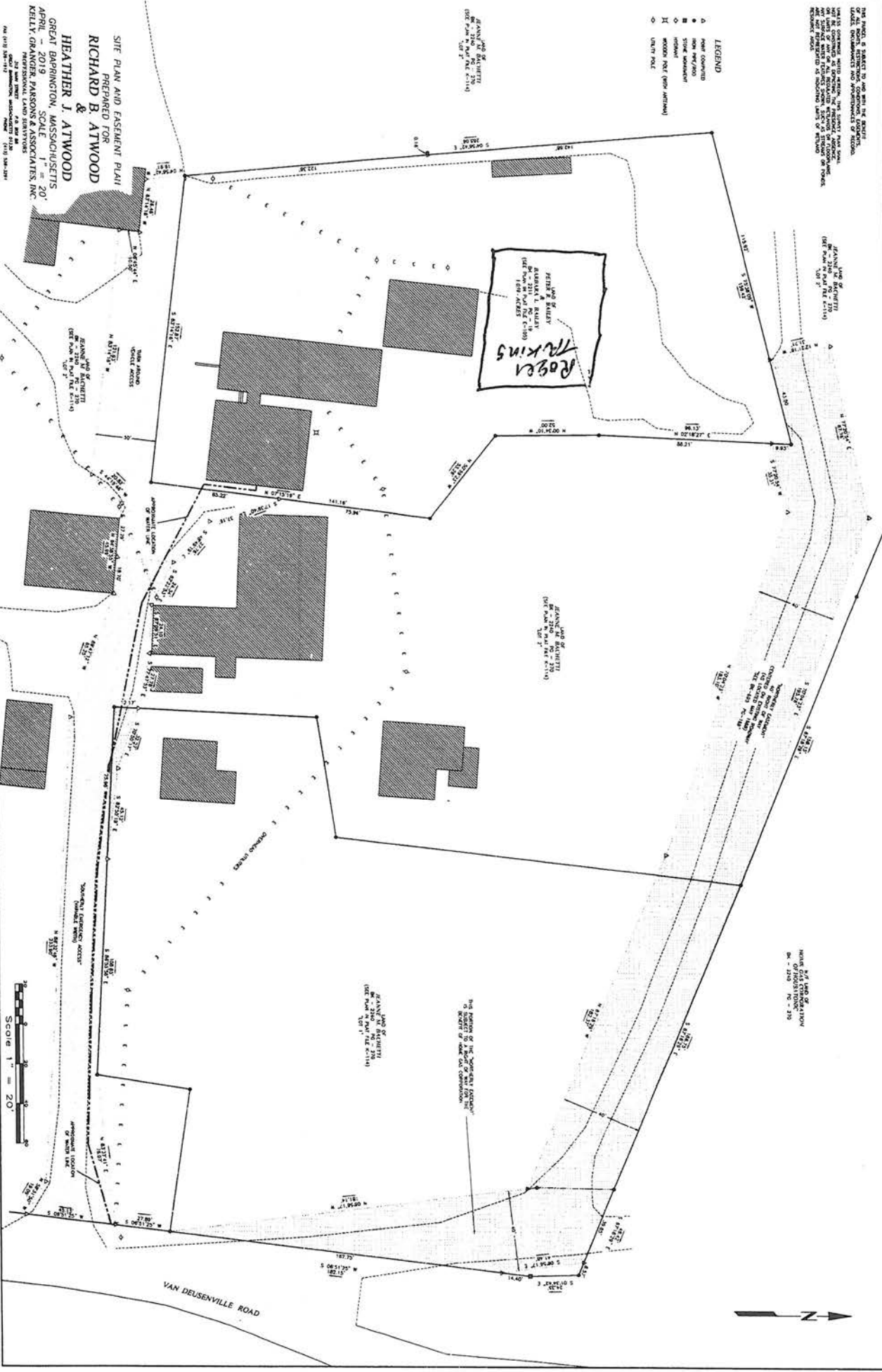
The above list of abutters to the subject property
is correct according to the latest records of this office.

Sincerely,

Carol Strommer
Administrative Assessor

THIS PLAN IS SUBJECT TO THE EXISTING RECORDS OF ALL LOCAL DISTRICTS AND RECORDS OF THE MASSACHUSETTS DEPARTMENT OF REVENUE. LOCAL REQUIREMENTS AND PERMITS OF RECORDS MUST BE OBTAINED AND COMPLIED WITH PRIOR TO CONSTRUCTION. THE DRAWING AND SCALE ARE FOR INFORMATION ONLY. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT SPECIFICALLY INDICATED HEREON. THE DRAWING IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT SPECIFICALLY INDICATED HEREON.

- LEGEND**
- ▲ PIER CONCRETE
 - HIGH WALL
 - SHED CONCRETE
 - SEWER (SEE PLAN SHEET)
 - ◇ SEWER (SEE PLAN SHEET)
 - UNIT PILE



SITE PLAN AND EASEMENT PLAN
 PREPARED FOR
RICHARD B. ATWOOD
 &
HEATHER J. ATWOOD
 GREAT BARRINGTON, MASSACHUSETTS
 APRIL - 2019
 KELLY GRANGER, PARSONS & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 100 WEST STREET, SUITE 200
 GREAT BARRINGTON, MASSACHUSETTS 01830
 TEL: 413-528-2291

SB SP
896-19

TOWN OF GREAT BARRINGTON

NOTICE OF PUBLIC HEARING

The Great Barrington Selectboard will hold a public hearing on Monday, October 7, 2019 at 7:00 pm at Town Hall, 334 Main Street, Great Barrington, MA, to act on the Special Permit application from 79 Bridge Street Realty, LLC, to modify Special Permits 848-15, A, B, C, D, and E, to reflect proposed modifications to the proposed hotel project at 79 Bridge Street. This application is filed per Sections 3.1.4 C(8), 6.1, 7.10, 9.1, 9.2, 9.4, and 10.4 of the Great Barrington Zoning Bylaw. A copy of the application is on file with the Town Clerk.

Stephen Bannon, Chair

Please publish August 30 and September 6, 2019

Berkshire Record

SP # 896-19

Special Permit application from 79 Bridge Street Realty, LLC, to modify Special Permits 848-15, A, B, C, D, and E, to reflect proposed modifications to the proposed hotel project at 79 Bridge Street. This application is filed per Sections 3.1.4 C(8), 6.1, 7.10, 9.1, 9.2, 9.4, and 10.4 of the Great Barrington Zoning Bylaw.

DRAFT MOTIONS

VOTE ON FINDINGS

(If the Board has amended the Findings based on the Public Hearing and its discussion, specify those changes and approve the findings "as amended.")

Motion: ____ Move to approve the Findings of Fact for Special Permit #896-19 for 79 Bridge Street Realty LLC, as submitted and referenced as Exhibit A.

Second: ____

Roll call vote: Davis ____ Burke ____ Cooke ____
Abrahams ____ Bannon ____

VOTE ON SPECIAL PERMIT

Motion: Move, in view of the approved Findings of Fact, to approve Special Permit #896-19 for 79 Bridge Street Realty LLC to modify Special Permits 848-15, A, B, C, D, and E, to reflect proposed modifications to the proposed hotel project at 79 Bridge Street, including a waiver of loading requirements, and to require that the conditions of SP#848-15 remain in force to the extent they have not yet been satisfied, and to modify SP#848-15 Condition #3 regarding the sewer easement so that the sewer easement must be granted and recorded prior to Certificate of Occupancy rather than prior to demolition or building permit, and to delete SP#848-15 Condition #11 requiring off-site parking spaces.

Second: ____

Roll call vote: Davis ____ Burke ____ Cooke ____
Abrahams ____ Bannon ____

EXHIBIT A

FINDINGS OF FACT AND BASIS FOR DECISION

Re: Special Permit #896-19, 79 Bridge Street

A. Introduction

This Special Permit application was filed on August 19, 2019 by 79 Bridge Street Realty, LLC, the owner of 79 Bridge Street, the subject site. The Applicant is seeking special permit approval in order to modify previously granted special permits 848-15 A, B, C, D, and E. (The Permit is recorded in the Southern Berkshire Registry of Deeds on March 23, 2016 at Book 2350, Page 62).

The previously granted special permits 848-15 A, B, C, D, and E approved:

1. Per Zoning Section 3.1.4, C (8), for a Hotel use in a B3 zone, and in excess of 45 rooms per Section 7.10.2.3 (SP #848-15, A);
2. Per Zoning Section 9.1, for work in the Flood Plain Overlay District (FPOD) (SP #848-15, B);
3. Per Zoning Section 9.2.13, for work in the Water Quality Protection Overlay District (WQPOD), Zone II, rendering impervious the greater of 15% of a lot or 2,500 square feet (SP #848-15, C);
4. Per Zoning Section 9.4.9, for development in excess of 20,000 square feet in a B3 zone (SP #848-15, D); and,
5. Per Zoning Section 6.1.9, for deviation from loading requirements (SP #848-15, E)

The modifications proposed include a smaller building footprint, due to the elimination of the previously proposed and approved restaurant and bar, northern annex building, and conference space. However the primary use—a hotel of greater than 45 rooms in a preserved and renovated historical former school building—remains as previously approved. Other proposed modifications are described in the special permit application and in the Plans accompanying the application.

The application includes a six-page narrative entitled “Special Permit Modification” summarizing development progress on the previously granted special permits, and the special permit and site plan modifications now sought. The application also includes Architectural Plans and Elevations prepared by BMA Architectural Group dated July 25, 2019, and Plans to Accompany Special Permit Application prepared by SK Design Group, Inc. dated July 31, 2019 (collectively, “Plans”).

B. General Findings

- A. Existing Site Description: There are no changes since the previously granted special permit. The Selectboard finds and incorporates the Existing Site Description findings it made for SP#848-15 (see attached).
- B. Zoning Districts: There are no changes since the previously granted special permit. The Selectboard finds and incorporates Zoning District findings it made for SP#848-15.
- C. Proposed Development:

The Searles school site includes three buildings: the main school building, the annex building and the gymnasium. The proposed development includes a combination of redevelopment, preservation and demolition of a portion of the existing three-part Searles school complex. The main school building will be preserved and renovated to contain most of the 88 hotel rooms, a

front porch, and a porte-cochere as depicted on the Plans. The former gymnasium building and the annex building will be removed. A new structure will be built in the place of the former gymnasium and reattached becoming a part of the new main building. A structure will not be rebuilt where the annex building was, allowing for an expansion of on-site parking into this portion of the site. The existing parking areas, driveways, sidewalks and landscaping will also be redeveloped.

The proposed main building will have an approximately 19,900 square foot footprint and contain an 88 guest room hotel. Entrances will be on both the north and south of the building. The north entrance will serve as the main parking lot and will have a porte-cochere. The primary entrance drive will be constructed off of Bridge Street and will wrap around the east side of the hotel to the porte-cochere. A secondary entrance drive providing access to parking, loading and drop-off areas will be constructed off of Church Street. The existing south entrance, facing Bridge Street, will be reused and a new porch will be construct across a portion of the south face of the building.

Parking for the facility will be constructed to the north and west of the building as depicted on the Plans. In total, there will be 101 parking spaces provided on-site for the development. A loading space is not proposed, and, as part of this current application, a special permit is sought to waive all loading requirements.

There are no proposed significant changes to water, sewer or other utilities since the previously granted special permit. The Selectboard finds and incorporates the relevant findings it made for SP#848-15, including the requirement that the Applicant/Owner grant to the Town a sewer easement along the sewer line, 15 feet on each side, for sewer maintenance purposes.

There are no proposed significant changes to stormwater management since the previously granted special permit. The Selectboard finds and incorporates the relevant findings it made for SP#848-15.

There are no proposed significant changes to fire safety or emergency access since the previously granted special permit. The Selectboard finds and incorporates the relevant findings it made for SP#848-15.

C. Hotel and Motel and Findings

The Selectboard finds that the proposed revisions do not change the findings it made for SP#848-15, A, and incorporates those findings herein.

D. Off Street Parking and Loading and Findings

The Selectboard finds that the proposed revisions do not change the findings it made for SP#848-15, E, and incorporates relevant findings herein; however, with the proposed changes no off-site parking will be required.

As to loading, the Planning Board found that a loading space is not required to adequately and safely serve the facility, and recommended that the Selectboard grant the request for zero loading space. The Selectboard also finds that a loading space is not needed, particularly given the reduced size of the facility and its operational requirements.

E. Floodplain Overlay District Findings

The Selectboard finds that the proposed revisions do not change the findings it made for SP#848-

15, B and incorporates those findings herein.

F. Water Quality Protection Overlay District Findings

The Selectboard finds that the proposed revisions do not change the findings it made for SP#848-15, C and incorporates those findings herein.

G. Downtown Mixed-Use B3 District Findings

The Selectboard finds that the proposed revisions do not change the findings it made for SP#848-15, D and incorporates those findings herein.

H. Special Permit Criteria and Findings

Section 10.4.2 of the Zoning Bylaw, granting of a special permit requires a written determination by the Special Permit Granting Authority “that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site.” This determination shall include consideration of the following criteria:

1. Social, economic, or community needs which are served by the proposal;
2. Traffic flow and safety, including parking and loading;
3. Adequacy of utilities and other public services;
4. Neighborhood character and social structures;
5. Impacts on the natural environment; and,
6. Potential fiscal impact, including impact on town services, tax base, and employment.

Consideration of the Criteria in relation to SP #896-19:

Per Section 10.4.2 of the Zoning Bylaw, granting of any special permit requires a determination by the Special Permit Granting Authority “that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site.”

Criterion 1. The Selectboard finds that the proposed revisions do not materially change the findings it made for this criterion relative to SP#848-15 and hereby reiterates those findings. The Selectboard agrees that Conditions 2 and 4 from SP#848-15 have been met.

Criterion 2. The Selectboard finds that the proposed revisions do not materially change the findings it made for this criterion relative to SP#848-15 and hereby reiterates those findings. The Selectboard further finds that with the elimination of a previously approved restaurant there is no need for condition #11 in SP#848-15 relative to offsite parking. The Selectboard also finds that there is no need for a loading space and the special permit request to waive all loading requirements may be granted.

Criterion 3. The Selectboard finds that the proposed revisions do not materially change the findings it made for this criterion relative to SP#848-15 and hereby reiterates those findings. The Selectboard further finds that condition #3 in SP#848-15 may be modified to read that the sewer easement occur prior to Certificate of Occupancy rather than prior to demolition or building permit.

Criterion 4. The Selectboard finds that the proposed revisions do not materially change the

findings it made for this criterion relative to SP#848-15 and hereby reiterates those findings. The Selectboard agrees that Conditions 1, 5, and 6 from SP#848-15, relative to local Conservation Commission permitting, stormwater management, and work in the Riverfront area, have been met.

Criterion 5. The Selectboard finds that the proposed revisions do not materially change the findings it made for this criterion relative to SP#848-15 and hereby reiterates those findings.

Criterion 6. The Selectboard finds that the additional hotel rooms, real estate improvements, and additional economic activity in the downtown will generate an overall positive fiscal and employment impact for the Town.

Finding:

In consideration of the above Findings, this Selectboard finds that the benefits of the proposal outweigh possible detrimental impacts.

I. Proposed Condition(s):

The conditions of SP#848-15 remain in force to the extent they have not yet been satisfied, with the following exceptions:

Condition #3 regarding the sewer easement is modified so that the sewer easement must be granted and recorded prior to Certificate of Occupancy rather than prior to demolition or building permit.

Condition #11 requiring off-site parking spaces is deleted.

No new conditions are imposed.



TOWN OF GREAT BARRINGTON
MASSACHUSETTS

PLANNING BOARD

October 1, 2019

Selectboard
Town Hall
334 Main Street
Great Barrington, MA 01230

Re: Special Permit application #896-19

Dear Members of the Selectboard:

At its meeting of September 12, 2019, the Planning Board voted to send a positive recommendation on the above special permit application from 79 Bridge Street Realty, LLC, which requests modifications to previously granted special permits #848-15, A - E.

Thank you for the opportunity to comment.

Sincerely,

Kimberly L. Shaw

Kimberly L. Shaw
Planning Board Secretary

Cc: Chris Rembold, Assistant Town Manager

Shepley Evans
Conservation Agent

E-mail: conservation@townofgb.org
www.townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619 ext. 122
Fax: (413) 528-2290

TOWN OF GREAT BARRINGTON MASSACHUSETTS

CONSERVATION COMMISSION

October 1, 2019

The Selectboard
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

Re: SPECIAL PERMIT # 896-19
Application of 79 Bridge Street Realty, LLC to modify Special Permits 848-15, A, B, C,
D & E to reflect proposed modifications to the proposed hotel project at 79 Bridge Street.

At its September 24, 2019 meeting, the Conservation Commission considered the modifications to the proposed hotel project and accepted and approved all such modifications. The Commission noted that the amended plan presented a 7,000 sq ft reduction in impervious surface, a smaller building design and that the previously approved storm water plan remains unchanged.

Respectfully,

Shepley W. Evans
Conservation Agent

CC: Jeffrey Cohen, Conservation Commission Chairman
Chris Rembold, Town Planner

Michael Lanoue, Chair
Peter Stanton, Vice Chair
Ruby Chang, M.D.
www.townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Phone: 413-528-0680
Fax: 413-528-3064

TOWN OF GREAT BARRINGTON
MASSACHUSETTS

BOARD OF HEALTH

September 30, 2019

Special Permit #896-19: Special Permit application from 79 Bridge Street Realty, LLC, to modify Special Permits 848-15, A, B, C, D, and E, to reflect proposed modifications to the proposed hotel project at 79 Bridge Street. This application is filed per Sections 3.1.4 C(8), 6.1, 7.10, 9.1, 9.2, 9.4, and 10.4 of the Great Barrington Zoning Bylaw.

Dear Selectboard,

The Health Department reviewed Special Permit application #896-19 at the most recent Board of Health meeting on September 5, 2019. The Board of Health recommends that the applicant apply for all necessary permits in a timely manner; demolition permit, annual lodging permit, annual pool permit, and an annual food establishment permit.

MOTION: Peter Stanton motioned to positively recommend Special Permit #896-19 to the Selectboard.

SECOND: Dr. Ruby Chang

VOTE: 3-0

Sincerely,

Rebecca Jurczyk
GB BOH Agent

TOWN OF GREAT BARRINGTON
Application for a Special Permit
to the Board of Selectmen or Planning Board

FORM SP-1
REV. 11-2013

TOWN CLERK
GREAT BARRINGTON
AUG 19 2019 PM 12:1

FOR OFFICE USE ONLY

Number Assigned 896-19 Date Received 8/19/19
Special Permit Granting Authority SB
Copy to Recommending Boards B/20
Advertised 8/30 & 9/6
Public Hearing 10/7/19
Fee: \$150.00 Paid: yes

Modification
APPLICATION FOR SPECIAL
PERMIT UNDER TOWN ZONING
BYLAWS FOR TOWN OF
GREAT BARRINGTON,
MASSACHUSETTS

MAP 19 LOT 139 BOOK 2348 PAGE 175 ZONING DISTRICT(s) B3

Site Address: 79 Bridge Street, Great Barrington, MA 01230

Date of Application July 31, 2019

Applicant's name and complete mailing address 79 Bridge Street Realty, LLC, Chrisoula D. Mahida, Manager
247 Stockbridge Road, Great Barrington, MA 01230

Applicant's phone number (413) 429-1805 Applicant's email address: cmahida@yahoo.com

Name and Address of Owner of land exactly as it appears on most recent tax bill:

79 Bridge Street Realty, LLC
247 Stockbridge Road, Great Barrington, MA 01230

I (we) request a Special Permit for: Modification of the following Special Permits: 848-15, A, B, C, D and E

See the attached Modification Narrative

Under Section(s) See attached Narrative and 10.4 of the Great Barrington Zoning Bylaws.

APPLICANTS MUST READ AND COMPLY WITH THE FOLLOWING:

One Signed Original application with each of the items below, as applicable, and fourteen (14) exact copies of the entire application package are to be submitted. Applications must include:

1. Completed application form, including signatures.
2. Brief written description of how the project is in harmony with the Great Barrington Master Plan. (Copies of the Master Plan are available for free download from the Town website. Hard copies can be read at the Clerk's office or the Town libraries.)
3. Site Plan, drawn to scale, applicable to the site and the proposed use of said site for which this special permit is requested.
4. Any other specifications necessary to further describe the site or proposed use for which a special permit is requested. At least one copy of any maps being submitted shall be no larger than 11" X 17". Plans should show all existing and proposed structures, property lines and dimensions, driveways, walkways and parking areas. All proposed landscaping, parking, loading, and similar improvements must be in compliance with the applicable sections of the Zoning Bylaw.
5. Certified list of abutters within 300' on the Assessors Maps to the subject property, including map and lot number. List must be obtained from the Assessors' Office.

6. Zoning Map designating the zoning district(s) and location for the area for which a special permit is requested, plus a USGS map enlarged and showing the site location within the Town.
7. Drainage Plan indicating the destination of all runoff from the property. In the event of substantial increase in impervious surfaces, the SPGA may require calculations or expert analysis of the plan.
8. Landscaping Plan drawn to scale and showing existing and proposed landscaping.
9. If applicant and owner are different, a letter signed by the owner of the property authorizing the applicant to apply for the special permit.

SPECIFICS:

1. All site plans and specifications must be signed and dated by the preparer.
2. **ALL OWNERS** of property must also sign the application.
3. A copy of special permit procedures is available upon request.
4. Fee for application is \$150.00 to cover the cost of the public hearing notices in the newspaper and notification to parties in interest. If the cost exceeds \$150.00, the applicant shall pay the balance due upon notification from the Granting Authority.
5. Once all the necessary papers, maps, etc. are compiled into the required Original and Fourteen sets, call the Town Planner's office at 413-528-1619 ext. 7 to arrange an appointment to file your application. The application will be reviewed for completeness and a date for a public hearing before the Board of Selectmen or Planning Board will be scheduled. Meetings of recommending boards (e.g. Planning Board, Conservation Commission and Board of Health) will also be arranged at this time.

x Chisorla Mahida
Signature of Applicant

Signature of Co-Applicant (e.g. Property Owner, if different)

PLEASE READ AND SIGN BELOW

ALL COSTS INCURRED BY THE TOWN FOR THE EMPLOYMENT OF EXPERTS OR CONSULTANTS REQUIRED BY ANY TOWN BOARD, AND APPROVED BY THE BOARD OF SELECTMEN, FOR THE PURPOSE OF ANALYZING OR EVALUATING ANY PROJECT THAT IS A SUBJECT OF A SPECIAL PERMIT APPLICATION SHALL BE ASSESSED TO THE APPLICANT AND SHALL CONSTITUTE PART OF THE APPLICATION FEE. A COPY OF THIS REGULATION SHALL BE PROVIDED TO THE APPLICANT IF REQUESTED.

I have read the above regulation and agree to be bound by it.

Signature x Chisorla Mahida

Signature of Co-Applicant (e.g. Property Owner) _____

Date _____



**Town of Great Barrington
Planning Board**

**Application to the Planning Board for
Modification of Site Plan Review #55-15
in accordance with Section 10.5 of the Zoning Bylaw**

INSTRUCTIONS TO APPLICANTS

Read Section 10.5.1 of the Zoning Bylaw. If you believe any requirements should be waived, you must formally request waivers from the Board. This may be done in your cover letter.
 Fill in all applicable information on this form.
 Submit one (1) original and three (3) copies, along with your payment, site plan, and other required information to the Town Planner. At least one set of the site plans must be full sized. Collate the information so that all four packets are identical, except for the original signature.
 Submit one (1) PDF of the entire packet including any and all plans and specifications.
 The PDF must be clear and scalable.
 Call the Town Planner at (413) 528-1619 ext. 7 if you have any questions.

FOR OFFICE USE ONLY

SPR number: _____
 Paid? _____
 Filing Date: _____
 Initial PB meeting date: _____
 Decision due: _____
 _____ Original and three copies received
 _____ PDF received
 _____ Original filed with Town Clerk

**** DEADLINE **** Applications including all copies and PDFs must be received by 4:00 PM one week before a Planning Board meeting in order to be considered at that meeting. Materials received after the deadline will be scheduled for a future meeting.

TIMELINE: In accordance with the Zoning Bylaw, the Planning Board must review and act upon the site plan within 60 days of receipt of the application, unless the time limits are extended after the applicant's written request.

A. SITE LOCATION

Site Address: 79 Bridge Street, Great Barrington, MA 01230

Map: 19 Lot: 138 Deed Book: 2348 Deed page: 175

Zoning District: B3 Zoning Overlay District(s) (if any): FPOD & Water Quality Protection Overlay District

B. APPLICANT AND PROPERTY OWNER

Applicant's Information Name (please print) 79 Bridge Street Really, LLC, Chrisoula D Mahida, Manager
 Street Address 247 Stockbridge Road
 City, State, Zip Code Great Barrington, MA, 01230
 Phone (area code first) 413-429-1805 Email Address: cmahida@yahoo.com
 Signature Chrisoula Mahida

- Check here if Applicant and Property Owner are the same, and skip to step C., Description.
- Check here if Applicant is different than the Property Owner, and to verify that you have the Property Owner's permission to file this Application. Property Owner must sign this form indicating permission to file this Application.
 Enter Property Owner's information EXACTLY as it appears on the most recent tax bill.

Property Owner's Information Name (please print) _____
 Street Address _____
 City, State, Zip Code _____
 Phone (area code first) _____ Email Address: _____
 Owner's Signature _____

C. DESCRIPTION Briefly describe your project, and indicate how it complies with the Master Plan and the Design Guidelines Workbook. If additional space is needed, please submit on additional sheet(s) as required.

The project proposes to demolish the existing vacant Searles School building and construct an 88-room hotel, called The Berkshire, in its place. The project plans are in compliance with the Master Plan because this Project redevelops a vacant property while preserving the character of the property and neighborhood. The Project follows the Design Guidelines workbook because it enhances the commercial success of the Town while preserving the historic features of the building and natural features. Please see the enclosed documents for more information.

D. APPLICABILITY: Check the reason(s) for your Application (choose all that apply) Modification of #55-15

- 1. Construction, exterior alteration or exterior expansion of, or change of use within, a municipal, institutional, commercial, industrial, or multi-family structure.
- 2. Construction or expansion of a parking lot for a municipal, institutional, commercial, industrial, or multi-family structure or use involving more than six spaces.
- 3. Grading or clearing of more than 10% of a lot or 10,000 square feet, whichever is the lesser (except as provided in 10.5.1, of the Zoning Bylaw).
- 4. Other, as required by the Zoning Bylaw. (Please specify: Section(s) Hotel 3.1.4(c)(8); Room Limits 7.10.2; FPOD 9.1; WQPOD 9.2.12)

E. SPECIAL PERMITS AND OTHER REGULATIONS

- 1. Does your project require any Special Permits? Yes No Modification of SP #848-15, A, B, C, D, E
If yes, have you applied for and/or received those Special Permits? Yes No
- 2. You acknowledge that Planning Board Site Plan Approval does not imply approval of any Special Permits or compliance with other regulations, including, but not limited to, the Wetlands Protection Act or Scenic Mountains Act. Check here to acknowledge
- 3. Does your project require filing of a Notice of Intent (NOI)? Yes No Order of Conditions (extended to May 10, 2022)
If yes, has NOI been filed and has an Order of Conditions been issued? Yes No Book 2533, Page 259

F. FEE

- Check here to confirm that your check of \$75 per application is enclosed. Make checks payable to Town of Great Barrington.

G. REQUIREMENTS

This application is accompanied by those items detailed in Section 10.5.3 of the Zoning Bylaw, including:
(Check items 1. and 2. at a minimum. Check item 3. if it is required by the Planning Board. Check item 4 if applicable to your project.)

- 1. Plot Plan of the entire tract, signed by a licensed surveyor or engineer, and including details noted in Section 10.5.3, item #1, of the Zoning Bylaw
- 2. Signatures, letters, and fees as noted in Section 10.5.3, item #2, of the Zoning Bylaw
- 3. Traffic impact assessment, if required, as noted in Section 10.5.3, item #3, of the Zoning Bylaw
- 4. If project involves construction, exterior alteration or expansion, or change of use, this application must also contain floor plans and elevations of the building

H. ABUTTER NOTIFICATION

Have you discussed your proposed plans with the neighbors of this site? Yes No

I. APPROVAL

APPLICANT SHOULD BE FAMILIAR WITH THE REQUIREMENTS OF SITE PLAN REVIEW PER SECTION 10.5 OF THE ZONING BYLAW AND SHOULD ENSURE THAT THE APPLICATION COMPLIES. FAILURE TO COMPLY MAY RESULT IN DENIAL.

APPLICANT SHOULD BE FAMILIAR WITH THE APPROVAL CRITERIA PER SECTION 10.5.3 OF THE ZONING BYLAW.

**SPECIAL PERMIT MODIFICATION
SITE PLAN APPROVAL MODIFICATION
"Berkshire Hotel" at 79 Bridge Street**

Summary of the Berkshire Hotel Modification

As the development of the former Searles School into an 88-room hotel has proceeded, it has become clear that certain modifications to the approved project are needed, and necessitate modifications of the following Special Permits:

1. a hotel exceeding 45 rooms in a B3 zone in accordance with the Town of Great Barrington Zoning Bylaw sections 3.1.4.C(8) and 7.10.2.3 (SP# 848-15, A);
2. work in a Flood Plain Overlay District in accordance with the Town of Great Barrington Zoning Bylaw section 9.1 (SP#848-15, B);
3. work in the Water Quality Protection Overlay District per Zone II in accordance with the Town of Great Barrington Zoning Bylaw sections 9.2.13 (SP#848-15, C);
4. Redevelopment in excess of 20,000 square feet in B3 Zone in accordance with the Town of Great Barrington Zoning Bylaw sections 9.4.9 (SP#848-15, D); and deviation from loading requirements in accordance with the Town of Great Barrington Zoning Bylaw section 6.1.9. (SP#848-15, E)

79 Bridge Street, LLC remains committed to completing the 88-room hotel ("Hotel Project"), the principal use for which it was permitted. Though the key component of the permitted use of the Hotel Project has not changed, accessory use amenities, specifically the Restaurant and Bar facilities, are proposed to be eliminated. 79 Bridge Street, LLC wants to support the vibrancy of the downtown restaurant scene by driving foot traffic from the hotel to explore downtown restaurants. Increased downtown restaurant foot traffic will also benefit all manner of downtown retail shops.

With the elimination of the restaurant, a concomitant reduction of conference room space to a total of approximately 1,200 square feet is also being proposed. Removing these amenities results in the need for less building square footage, thereby eliminating the annex replacement, which brings all parking onsite and eliminates the need for offsite parking. The reduced square footage also enables the gym replacement structure to be moved 10 feet further back from the front sidewalk, thereby creating better visibility to the Searles façade. Finally, the elimination of the restaurant enables the front porch size to be reduced in a manner that will make the saved façade more attractive. These changes necessitate a variety of building (detail) changes that are identified on the accompanying revised architectural and site plans.

Development Progress Overview

79 Bridge Street, LLC has spent a great deal of time, effort and resources removing significant asbestos and lead, working with the Great Barrington Historical Commission on removal and preservation of town history housed in the Searles School, as well as, completing a 3 year project with the Housatonic Riverwalk along the bank of the adjacent Housatonic River. These initiatives were incorporated in the above-mentioned Special Permit decisions.

Special Permit Conditions that have been met are as follows:

1. *"The issuance of this Special Permit does not obviate compliance with the requirements or its conditions imposed on the Applicant by the Conservation Commission for work within its jurisdiction."* Order of Condition issued by the Town of Great Barrington Conservation Commission recorded in the Southern Berkshire Registry of Deeds in Book 2359, Page 269 and extended through May 10, 2022 (see Southern Berkshire Registry of Deeds Book 2533, Page 259). **Completed.**
2. *"Prior to the issuance of any Demolition or Building Permit, the Applicant shall inform the Selectboard with a copy to the Town Manager, which engineering or architectural firms or professionals on its team has relevant and successful, regional, statewide, or national expertise in historic renovation projects similar in scope and scale to this project."* **Completed.**
3. *"Prior to the issuance of any Demolition or Building Permit, the owner shall grant the Town an easement along, in and through the sewer line located upon the property, 15 feet on each side for a total of 30 feet wide, for maintenance purposes, and shall record the easement in the Registry of Deeds. The location of the proposed easement is indicated on Sheet 5 of 10 of the Revised Plans prepared by SK Design Group dated January 12, 2016."* Recorded in the Southern Berkshire Registry of Deeds in Book 2359, Page 269 and extended in Book 2533, Page 259. **In process, working with Town.**
4. *"Prior to the issuance of any Demolition or Building Permit, the owner shall grant the Great Barrington Historical Commission access to the structures, particularly the sections to be razed for the purposed of documenting the appearance of their interiors and exteriors through:*
 - c. *Photography. The images will be deposited in the Town Historical Collection.* **Completed.**

- d. The preservation of selected artifacts. The Commission will request the owner donate selected architectural fragments, building parts and/or furnishings for deposit in the Town Historical Collection, providing the owner has no plans for their re-use as a part of the rehabilitation project or planned public programs.” **Completed.***
5. *"Prior to the issuance of any Demolition or Building Permit, the stormwater management system being reviewed by the Conservation Commission must receive an Order of Conditions approving the improvements depicted on the Revised Plans that are within the jurisdiction of the Conservation Commission.” Completed. See order of conditions in Southern Berkshire Registry of Deeds in Book 2359, Page 269 and extended through May 10, 2022 (see Southern Berkshire Registry of Deeds Book 2533, Page 259). **Completed.***
6. *"Prior to the commencement of work within the 200-foot Riverfront Area, an Order of Conditions is required. The Conservation Commission is currently reviewing the Applicant’s Notice of Intent for this work. For a delineation of the 200-foot Riverfront Area, see Sheet 6 of 10 of the Revised Plans prepared by SK Design Group dated January 12, 2016.” See Order of Conditions recorded in Southern Berkshire Registry of Deeds in Book 2359, Page 269 and extended through May 10, 2022 (see Southern Berkshire Registry of Deeds Book 2533, Page 259). **Completed.***

In addition to these completed items, various other development initiatives are underway. The most important, time consuming, and expensive of these initiatives was the completed removal of asbestos and lead from the three connected buildings which were significantly contaminated notwithstanding past Town remediation efforts over the years during which the property was owned by the Town.

Special Permit Modifications Sought

To accomplish this overall modification, 79 Bridge Street, LLC is seeking modification to the SP# 848-15 A, B, C, D, and E as follows:

1. To incorporate Modified Project Narrative and updated Site and Architectural Plans.
Architectural Plans
The Great Barrington Hotel prepared for 79 Bridge Street Realty, Dated July 15, 2019, prepared by BMA Architectural Group.

Civil Site Plans

Plans to Accompany Permit Applications prepared for 79 Bridge Street Realty, LLC, Dated July 31, 2019 prepared by SK Design Group, Inc.

2. To modify condition #3 to require grant of an easement to the Town of occur prior to Certificate of Occupancy not prior to issuance of a Demolition or Building Permit.
3. Removal of Condition # 11 in SP#848-15A. Due to the increase of onsite parking and the elimination of the parking needs for the restaurant and bar, 79 Bridge Street, LLC would like the off-site parking requirement removed.
4. Waiver of loading space requirement. This project initially required 3 loading spaces, which were reduced in the Special Permit process to 1 space for the restaurant use. 79 Bridge Street, LLC is requesting the loading space requirement be waived in its totality as no designated loading space would be needed for the hotel use.

In addition to the modification of the Special Permits outlined above, a modification of the Order of Conditions from the Town of Great Barrington Conservation Commission originally recorded in Southern Berkshire Registry of Deeds Book 2359, Page 269 as extended in Book 2533 Page 259 shall be required to incorporate the changes in the Site Plan. The Order of Conditions has been extended to May 10, 2022.

Site Plan Approval Modifications Sought

To accomplish this overall modification, 79 Bridge Street, LLC is seeking modification to the Site Plan# 55-15 as follows.

Hotel modifications include eliminating the restaurant, bar and a reduction in the size of the conference room. A summary of the Architectural changes can be seen The Great Barrington Hotel prepared for 79 Bridge Street Realty, Dated July 15, 2019, prepared by BMA Architectural Group and include:

- Elimination of the Annex replacement building
- Gym replacement wing footprint moved 28' further back from the sidewalk & property line from the previously approved footprint
- Removal of Restaurant, bar and reduction in conference room concomitant 11,000 square foot reduction in total building area
- Reduction in length of the front porch
- Replacement of main building roof, brick, back façade and chimney

A summary of the site plan changes can be seen on the Plans to Accompany Permit Applications, Dated July 31, 2019 and include:

- Elimination of off-site parking
- Increase of 2 on-site parking spaces
- Elimination of loading area
- Increase in east driveway around building from 24'-26 feet to accommodate deliveries.
- Added planting/green space in area of former annex.
- Relocation of dumpster enclosure closer to Church Street
- Relocation of accessible spaces in west parking lot to align with building entrance.

Details Site Plan changes are outlined below.

Parking and Loading Spaces

The previous permit required 88 parking spaces, one parking spaces for each sleeping room. This remains unchanged as the scope of the hotel remains unchanged. However, the revised site plan now includes 101 on-site parking spaces and eliminated the necessity for (40) off-site parking spaces with the removal of the restaurant, bar and reduction in the size of the conference room.

The project previously requested a waiver from the required (3) loading spaces to (1) loading space, which was approved. The revised hotel eliminates the restaurant and meeting room, which eliminates the need for a separate loading space. An area is located on the west end of the building where the driveway has been widened from 24' to 26' to allow for delivery of supplies as needed.

Traffic

Traffic was previously approved for an 88-room hotel, restaurant and bar and large conference room with no adverse impact on the neighborhood or surrounding road network. The elimination of the restaurant and , the reduction in the size of the conference room and elimination of off-site parking will improve traffic impacts in the area of the development.

Stormwater Management

A detailed Stormwater Management System was reviewed and approved by the Great Barrington Conservation Commission with a peer review by Berkshire Engineering. An Order of Conditions was issued May 10, 2016 and recently extended until May 2022.

The site plan modifications propose to reduce the amount of impervious area by over 7,000 square feet with the removal of the annex and the reduction of the gym building.

The project modifications reduce the amount of impervious surface and increase green space while maintaining the same Stormwater Management System design and flow patterns. The system as previously approved will adequately handle the reduced impervious areas.

Sewer and Water

The Town previously approved the water demand and sewer usage for the project. The elimination of the restaurant, bar and reduction in the size of the conference room reduces the sewer and water flows by 360 gallons per day.

Landscaping and Lighting

Landscaping and lighting will remain unchanged under these modifications. Additional plantings and green space are located in the area of the former annex. These can be seen on the attached site plans.

Open Space

The property is approximately 3.1 acres or 135,035 square feet. Therefore, it requires a minimum of 27,007 square feet of open space, or 20%.

There is approximately 44,325 square feet, or 32%, of open space proposed as a part of this application. This includes the wooded area adjacent to River Walk located along the eastern portion of the property, and all landscaped and lawn areas.

Floodplain

A Special Permit with Findings was issued for work in the Floodplain Overlay District. The site plan modifications do not propose any unauthorized fill nor any occupied spaces within the Floodplain, therefore the findings shall remain unchanged. A review with the Great Barrington Conservation Commission is forthcoming.

Water Quality Protection Overlay District

A Special Permit with Finding was issued for work in the Water Quality Protection Overlay District (WQPOD). The proposed site plan reduces the amount of impervious area on site while providing the same Stormwater Management Systems and infiltration, leading to a greater infiltration volume, exceeding the requirements under the WQPOD.



The Great Barrington Hotel

79 BRIDGE STREET, GREAT BARRINGTON, MA

CONCEPTUAL DESIGN 25 JULY 19

ARCHITECT:
BMA ARCHITECTURAL GROUP
BMA P.C.
12 AMBLE STREET
THE GREAT BARRINGTON
MA 01930

CIVIL ENGINEER:

MECHANICAL, ELECTRICAL, PLUMBING AND
FIRE PROTECTION ENGINEER:

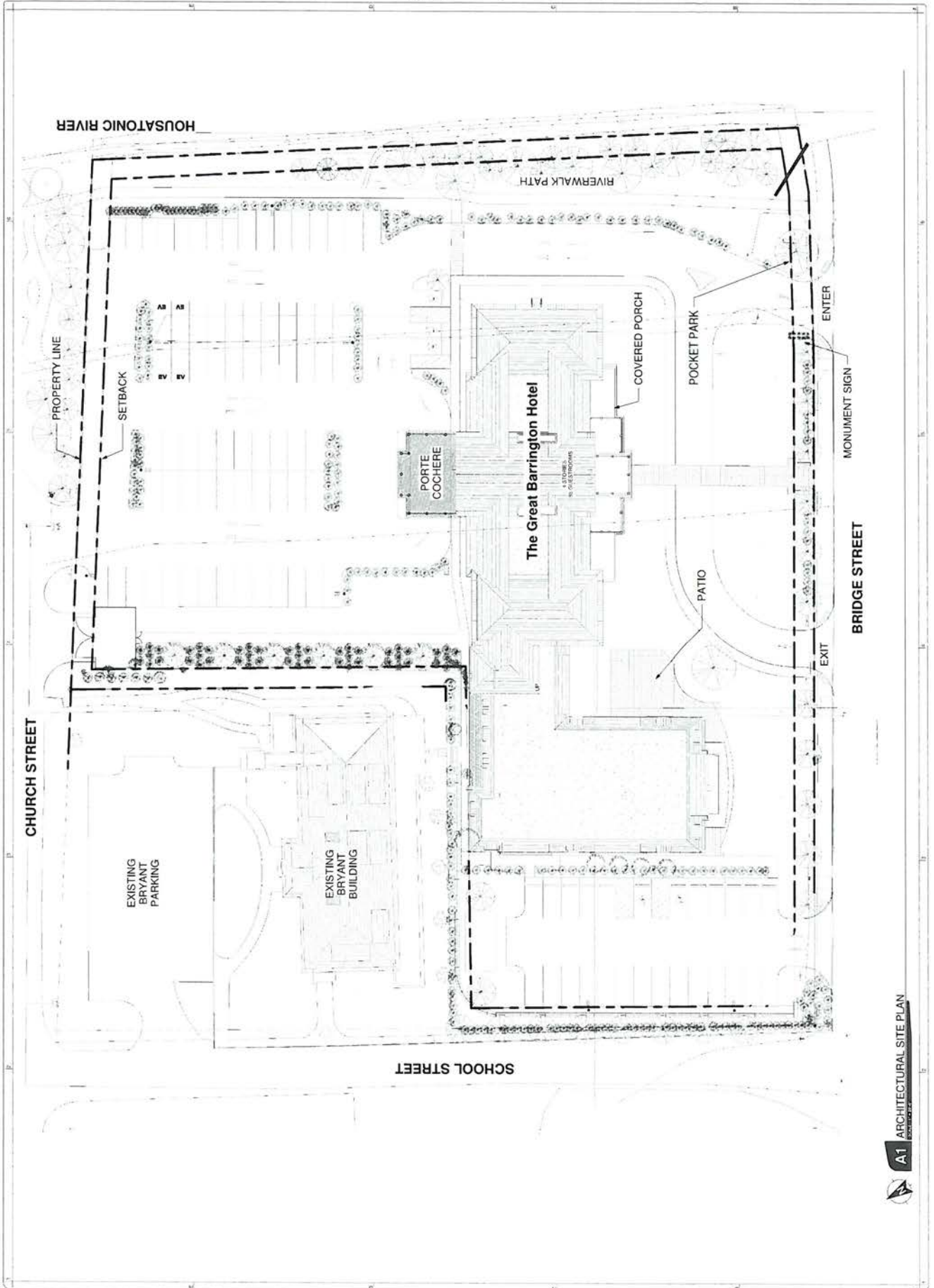
STRUCTURAL ENGINEER:

79 BRIDGE STREET REALTY
79 BRIDGE STREET, GREAT BARRINGTON, MA

OWNER:

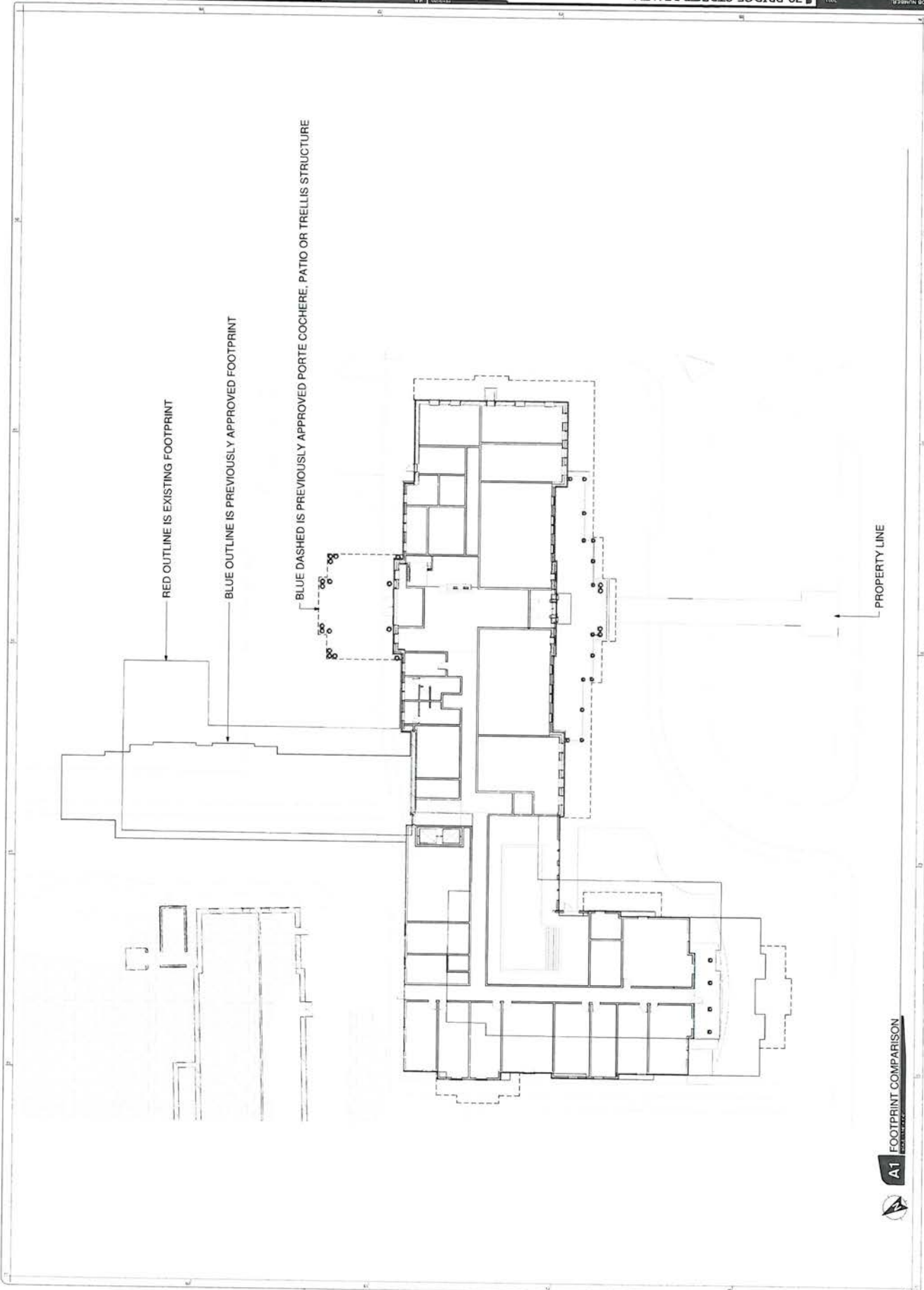
PROJECT TEAM:

NOT APPROVED FOR CONSTRUCTION



DATE: 12/11/19
PROJECT: CONCEPTUAL DESIGN
CHECKED BY: [Redacted]
DRAWN BY: [Redacted]
JOB NUMBER: [Redacted]

NOT APPROVED FOR CONSTRUCTION



RED OUTLINE IS EXISTING FOOTPRINT

BLUE OUTLINE IS PREVIOUSLY APPROVED FOOTPRINT

BLUE DASHED IS PREVIOUSLY APPROVED PORTE COCHERE, PATIO OR TRELLIS STRUCTURE

PROPERTY LINE



NOT APPROVED FOR CONSTRUCTION

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SUMMARY OF PROGRAMMATIC CHANGES FROM ORIGINALLY APPROVED PLANS DATED 20 JANUARY 2016:

- ELIMINATION OF THE ANNEX REPLACEMENT BUILDING
- GYM REPLACEMENT WING FOOTPRINT MOVED 28' FURTHER BACK FROM THE SIDEWALK & PROPERTY LINE FROM THE PREVIOUSLY APPROVED FOOTPRINT
- REMOVAL OF RESTAURANT, BAR AND BANQUET FACILITY AND CONCOMITANT 11,000 SF REDUCTION IN TOTAL BUILDING AREA
- REDUCTION IN LENGTH OF THE FRONT PORCH
- REPLACEMENT OF MAIN BUILDING ROOF, BACK FACADE, BRICK AND CHIMNEY

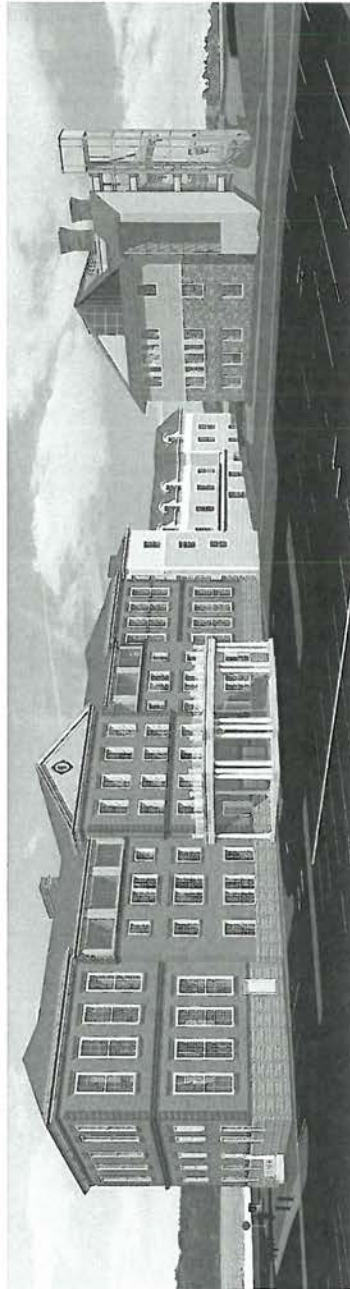
OTHER CHANGES AS NOTED AND KEYED ON A-200:

- #1 EXISTING SLOPED ROOFS TO BE REPLACED TO MATCH EXISTING
- #2 EXISTING NORTH BRICK FACADE TO BE REPLACED TO MATCH EXISTING
- #3 EXISTING ARCHED CHIMNEYS TO BE REPLACED TO MATCH EXISTING
- #4 FAUX SLATE, TYPICAL
- #5 EXISTING FRONT DOOR AND SURROUND TO BE REPLACED TO MATCH EXISTING
- #6 FRONT/SOUTH BRICK FACADE HYPHEN CONNECTOR SECTIONS TO BE REPLACED TO MATCH EXISTING
- #7 NEW WD COLS AND TRIM, PTD.

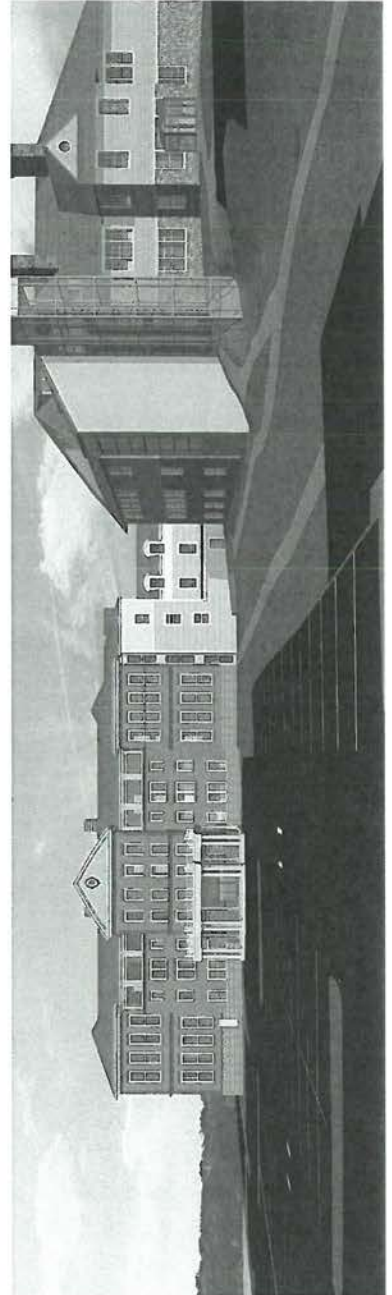
NOT APPROVED
CONSTRUCTION



3D_View_One



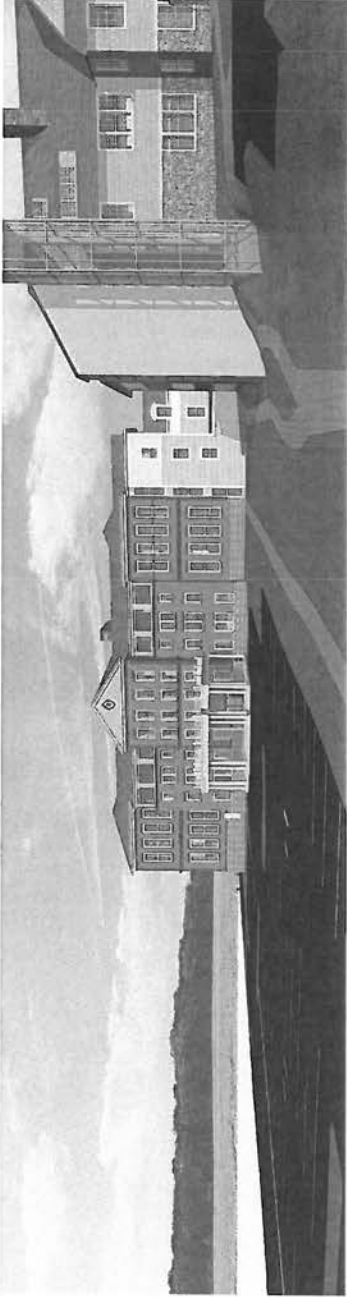
3D_View_Two



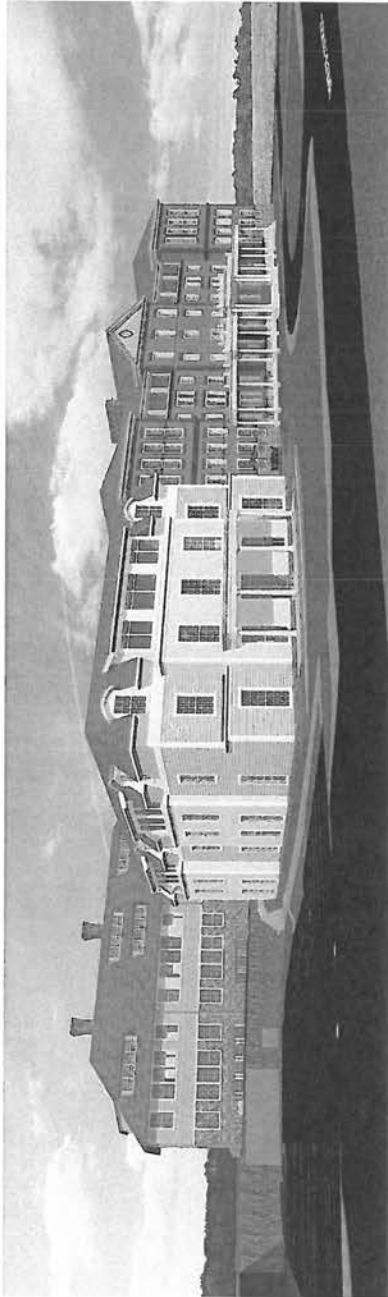
3D_View_Three

NOT APPROVED
FOR
CONSTRUCTION

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3D View Four



3D View Five



3D View Six - Old

PLANS TO ACCOMPANY PERMIT APPLICATION MODIFICATIONS FOR THE BERKSHIRE PREPARED FOR 79 BRIDGE STREET REALTY, LLC 79 BRIDGE STREET GREAT BARRINGTON, MASSACHUSETTS

RECORD OWNER AND DEVELOPER:
79 BRIDGE STREET REALTY, LLC
245 STOCKBRIDGE ROAD
GREAT BARRINGTON, MA 01130

ENGINEER:
SKY DESIGN GROUP
2 FEDERICO DR
PITTSFIELD, MA 01201

ARCHITECT:
BHYA ARCHITECTURAL GROUP, PC
12 MIDDLE STREET
WETHERSFIELD, MASSACHUSETTS 01567

ATTORNEY:
MCGORMICK MURTAGH, MARCUS
390 MAIN STREET
GREAT BARRINGTON, MA 01130

LEGEND

- EXISTING CONTOUR
- APPROX. PROPERTY LINE
- EXISTING SEWER MAIN
- EXISTING GUARDRAIL FLOOD WALL
- 100-YEAR FLOODPLAIN
- 10-YEAR FLOODPLAIN
- MEAN ANNUAL HIGH WATER LINE
- 200' RIVERFRONT AREA
- EXISTING SEWER LINE
- EXISTING SEWER MANHOLE
- EXISTING WATER MAIN
- EXISTING HYDRANT
- EXISTING WATER VALVES
- EXISTING DRAIN MANHOLE
- EXISTING DRAIN BASIN
- EXISTING UTILITY POLE
- EXISTING DRAIN LINE
- EXISTING OVERHEAD WIRES
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING GAS MAIN

PROPOSED CONTOUR (7.5')

PROPOSED SPOT GRADE (8.75')

PROPOSED SEWER MANHOLE (8.75')

PROPOSED DRAIN MANHOLE (8.75')

PROPOSED HYDRANT (8.75')

PROPOSED GATE VALVE (8.75')

PROPOSED WATER MAIN (8.75')

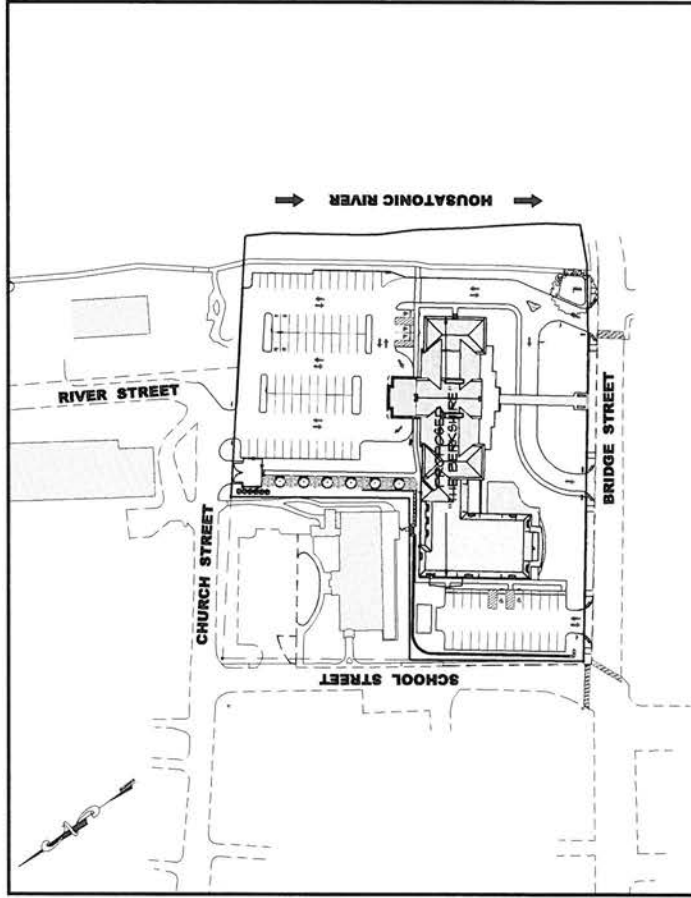
PROPOSED DRAIN MANHOLE (8.75')

PROPOSED CATCH BASIN (8.75')

PROPOSED STORAGE TANK (8.75')

TEST PIT LOCATION

RAO BOUNDARY



LOCUS PLAN
SCALE: 1" = 60'

GRAPHIC SCALE
(IN FEET)
1" = 60' FT.



LIST OF DRAWINGS

1. COVER SHEET
2. EXISTING CONDITIONS & RESOURCE AREA PLAN
3. PROPOSED SITE PLAN
4. PROPOSED GRADING & DRAINAGE PLAN
5. PROPOSED UTILITY PLAN
6. RIVERFRONT AREA PLAN
7. EROSION CONTROL PLAN
8. EROSION CONTROL DETAILS
9. SECTIONS & DETAILS
10. SECTIONS & DETAILS

ZONING DESCRIPTION NOTES:

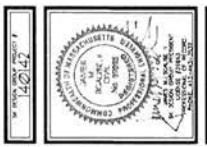
D3 - DOWNTOWN BUSINESS MIXED USE

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	5,000 SF	31 ACRES
MINIMUM LOT FRONTAGE	N/A	119'-1"
MINIMUM FRONT YARD SETBACK	10'	10'
MINIMUM REAR YARD SETBACK	10'	10'
MINIMUM BUILDING COVERAGE	10%	N/A
MAXIMUM HEIGHT OF BUILDING	4 STORIES	4 STORIES

* ON LOTS IN THE RAO DISTRICT OF TWO ACRES OR MORE, THE HEIGHT OF A BUILDING SHALL BE LIMITED TO 10 FEET AND 3 STORIES.

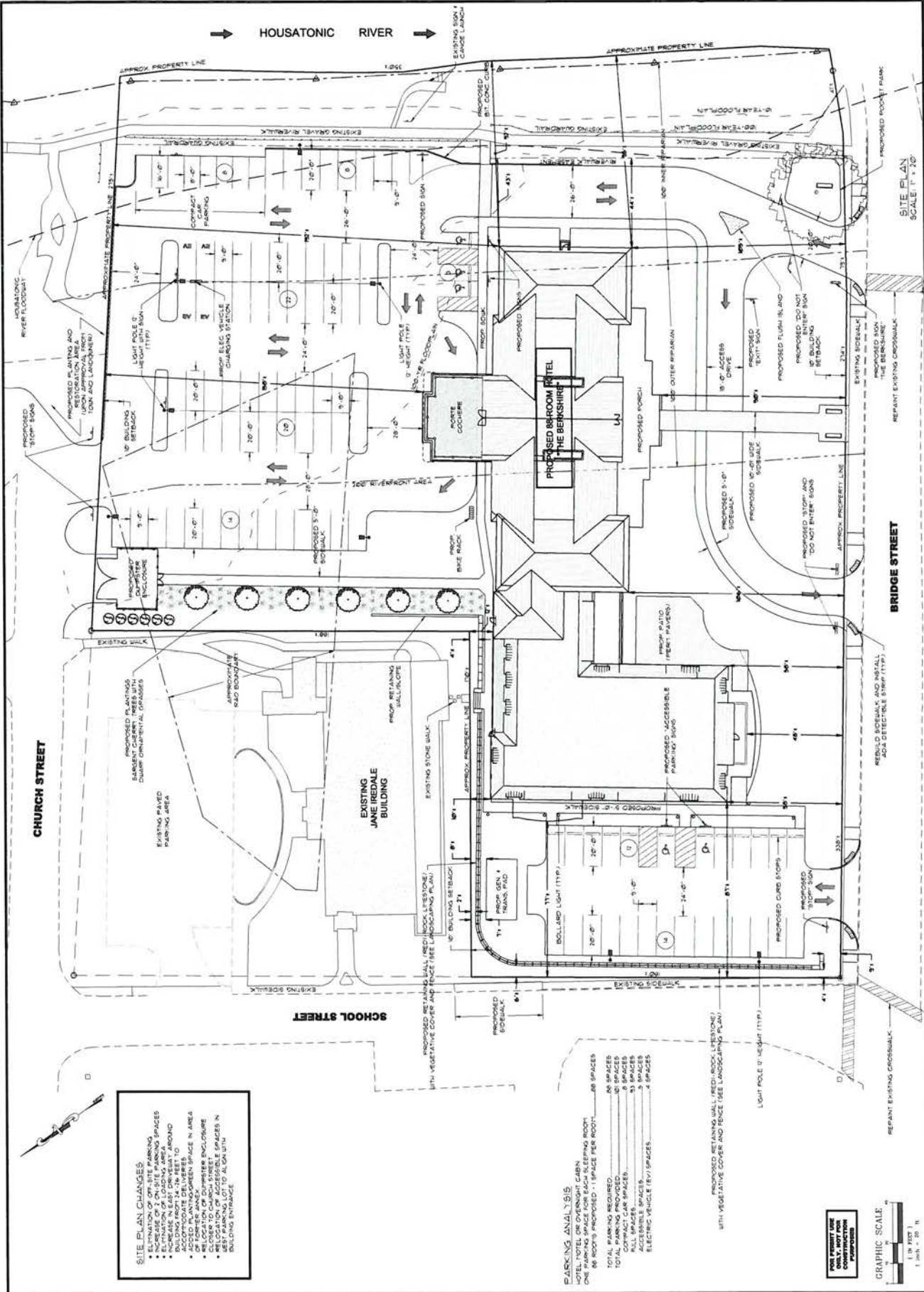
PLANS TO ACCOMPANY PERMIT APPLICATION MODIFICATIONS
 PREPARED FOR:
79 BRIDGE STREET REALTY, LLC
 LOCATED AT
 79 BRIDGE STREET
 GREAT BARRINGTON, MASSACHUSETTS

Design Group, Inc.
DESIGN GROUP, INC. / CIVIL ENGINEERING / 105-1000
105-1000



NO.	DATE	REVISION

DRAWN BY: []
 CHECKED BY: []
 DATE: []
 SHEET NO. [] OF []



SITE PLAN CHANGES:

- ELIMINATION OF OFF-SITE PARKING
- ELIMINATION OF HOTEL/OVERNIGHT CABIN
- ELIMINATION OF LOADING AREA
- ELIMINATION OF SIGNAGE AROUND BUILDING FOOTPRINT
- EXPANSION OF BUILDING FOOTPRINT
- APPROPRIATE DELIVERIES
- ANNEX ENCLOSURE
- CLOSURE TO COACH STREET
- RELOCATION OF ACCESSIBLE SPACES IN BUILDING ENTRANCE

PARKING ANALYSIS:

HOTEL/OT OR OVERNIGHT CABIN: 08 SPACES PER ROOM
 88 ROOMS PROPOSED = 1 SPACE PER ROOM = 88 SPACES

TOTAL PARKING PROVIDED: 88 SPACES
 ALL SPACES PROVIDED: 88 SPACES
 CONTRACT CAR SPACES: 8 SPACES
 ALL SPACES: 3 SPACES
 ELECTRIC VEHICLE (EV) SPACES: 4 SPACES

GRAPHIC SCALE:
 1" = 20'
 1" = 20' 0"

DO NOT PERMIT ONE ONLY. NOT FOR CONSTRUCTION PURPOSES.

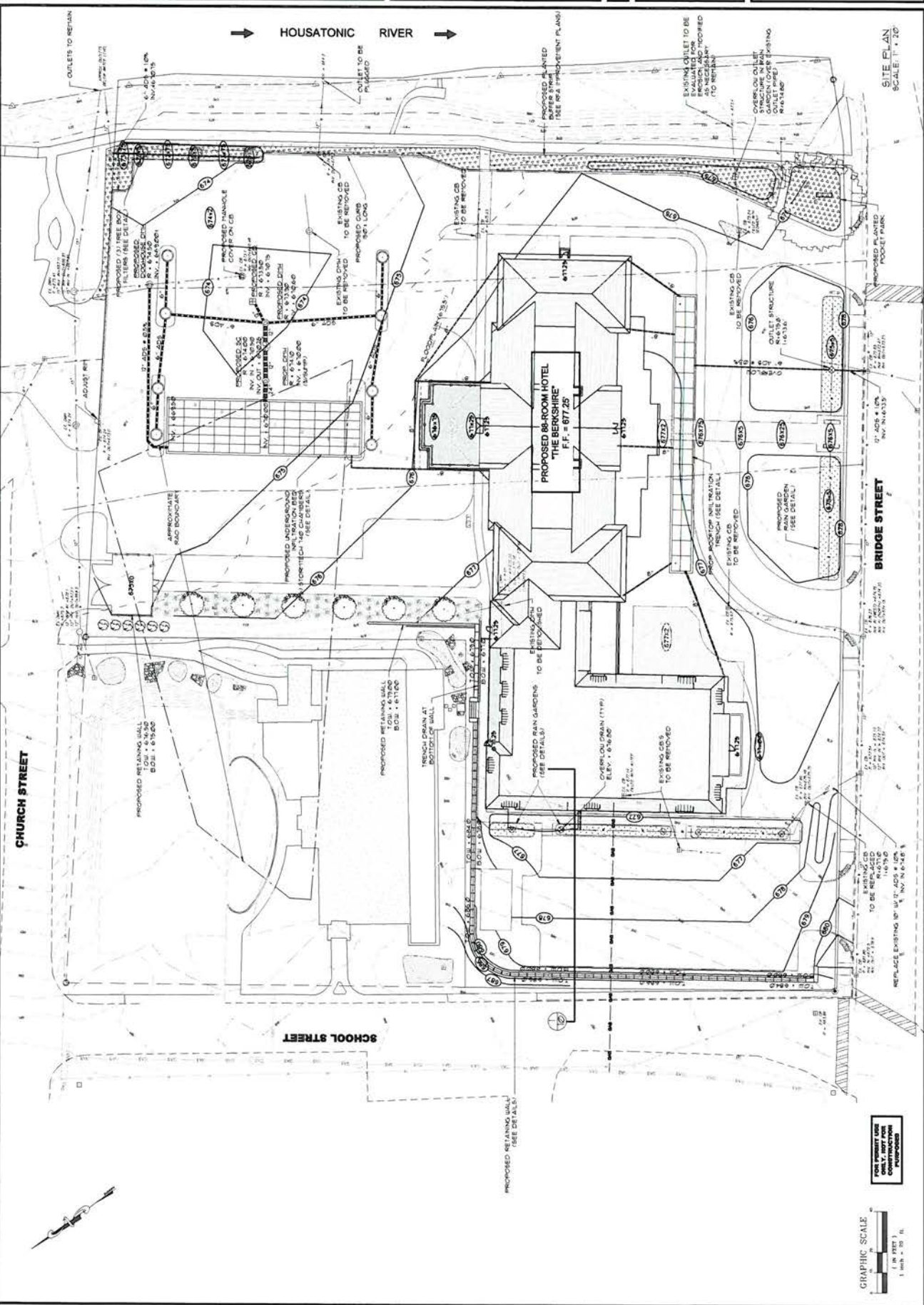
SITE PLAN
 SCALE 1" = 20'

PLANS TO ACCOMPANY PERMIT APPLICATION MODIFICATIONS
 PREPARED FOR:
79 BRIDGE STREET REALTY, LLC
 79 BRIDGE STREET
 LOCATED AT
 GREAT BARRINGTON MASSACHUSETTS

Design Group, Inc.
 Design Engineers, Architects, Planners
 14047
PROPOSED GRADING & DRAINAGE PLAN



DATE	10/11/2017	PROJECT NO.	79B	4
ISSUED BY	JMS	SCALE	AS SHOWN	
CHECKED BY	JMS	DATE	10/11/2017	
DATE	10/11/2017			



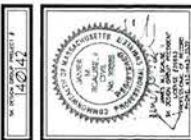
SITE PLAN
 SCALE: 1" = 20'

GRAPHIC SCALE
 1" = 20' ft
 1" = 20' ft
 1" = 20' ft

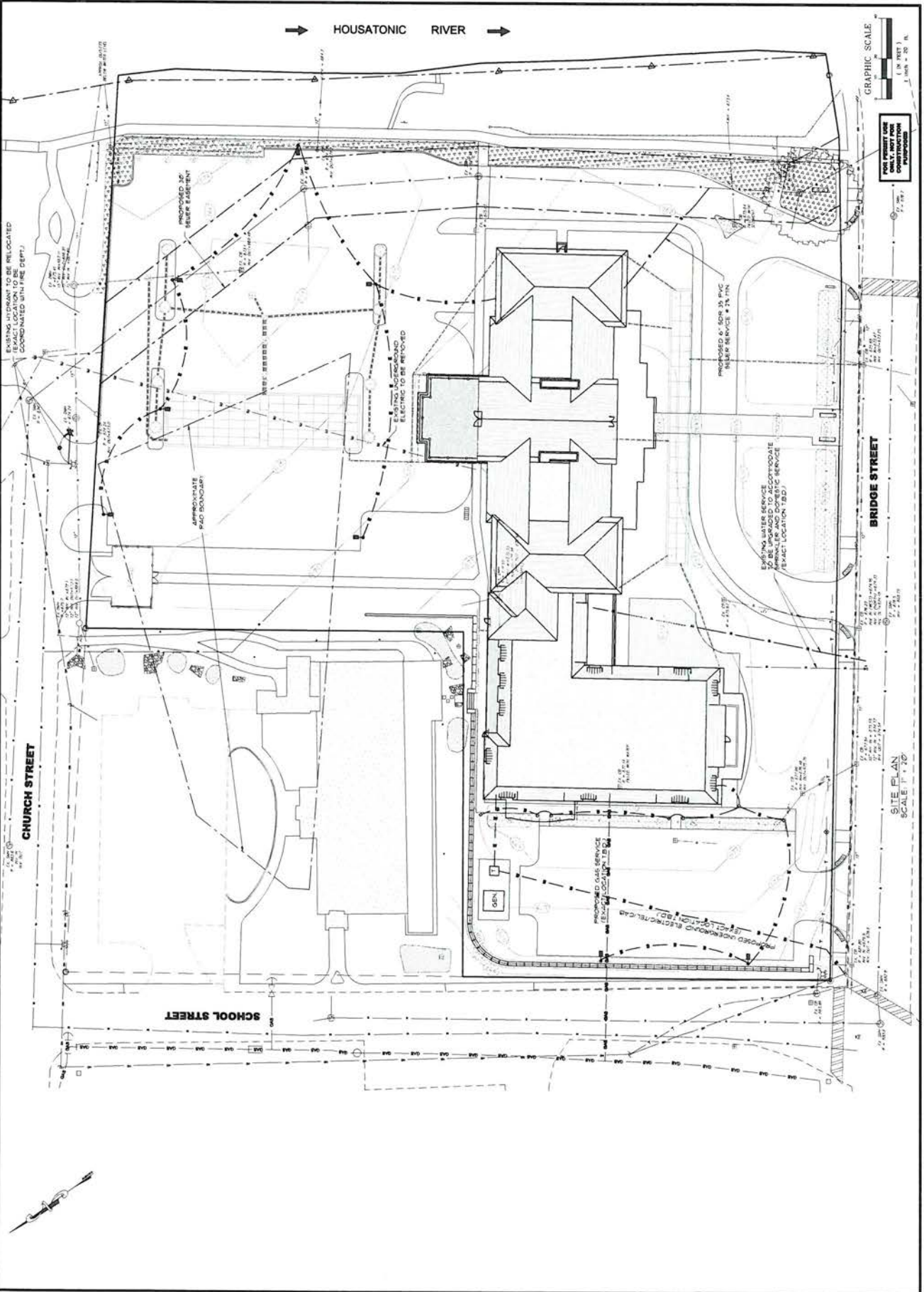
FOR PERMIT USE ONLY. NOT FOR CONSTRUCTION.

PLANS TO ACCOMPANY PERMIT APPLICATION MODIFICATIONS
 PREPARED FOR:
79 BRIDGE STREET REALTY, LLC
 LOCATED AT:
 79 BRIDGE STREET
 GREAT BARRINGTON MASSACHUSETTS

Design Group, Inc.
 Civil Engineers, Surveyors, and Landscapers
 14042
 PROPOSED UTILITY PLAN

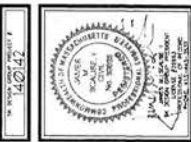


DATE: 07/11/2017	PROJECT NO.: 170101	10
SCALE: 1" = 20'	DATE: 07/11/2017	
SCALE: 1" = 20'	DATE: 07/11/2017	



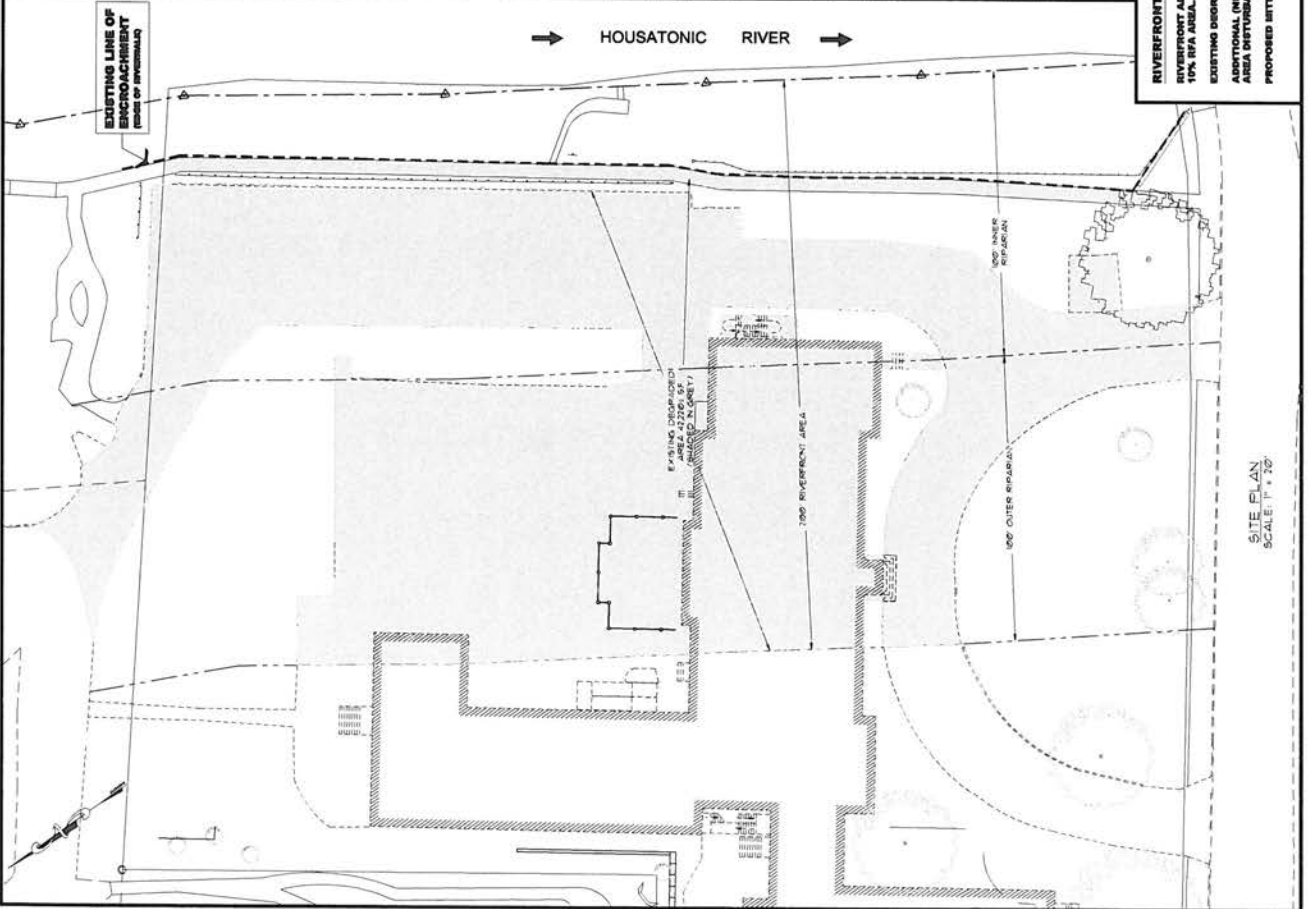
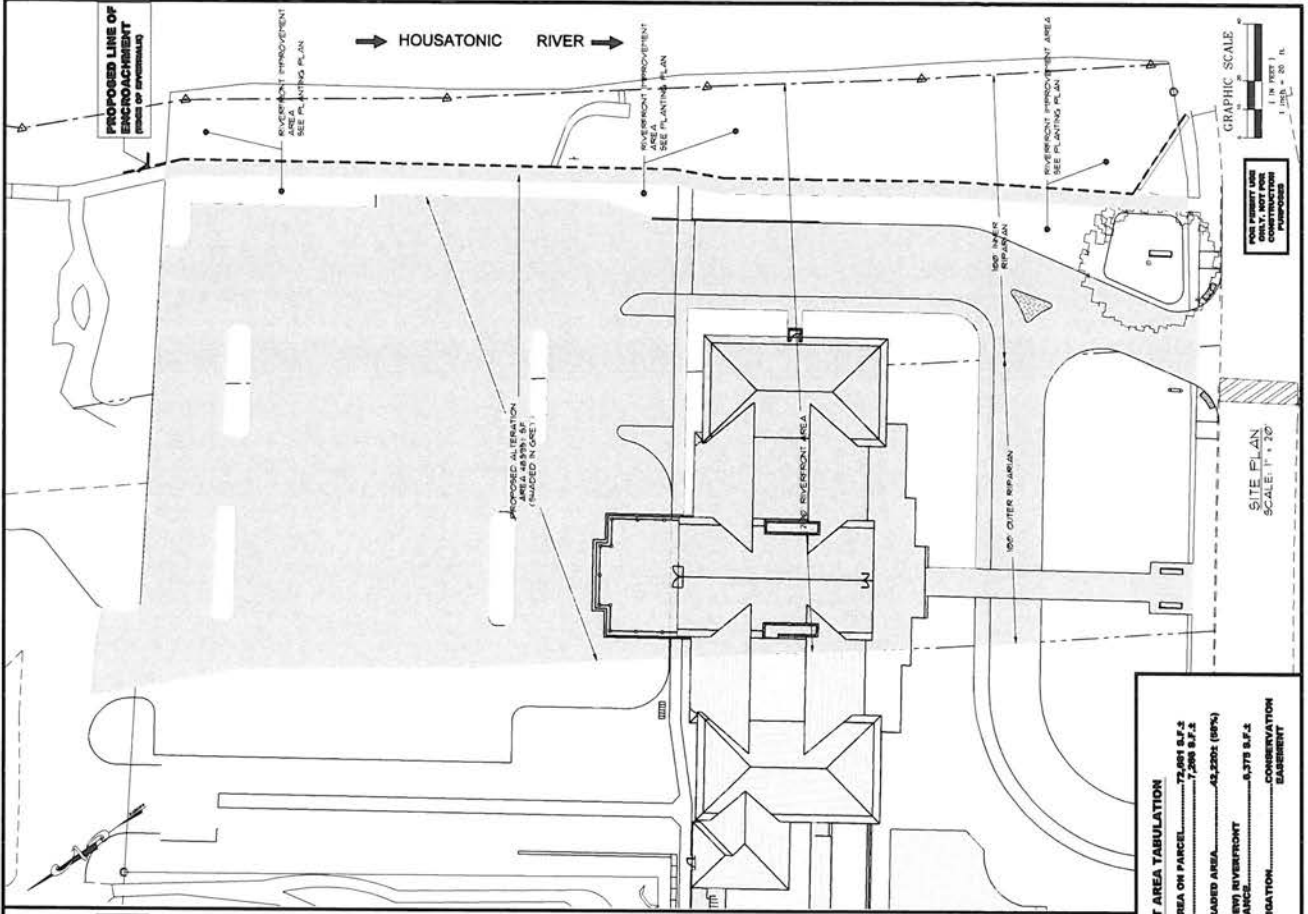
PLANS TO ACCOMPANY PERMIT APPLICATION MODIFICATIONS
 PREPARED FOR
79 BRIDGE STREET REALTY, LLC
 LOCATED AT
 79 BRIDGE STREET
 GREAT BARRINGTON MASSACHUSETTS

Design Group, Inc.
 DESIGN AND ARCHITECTURAL SERVICES
 14047
RIVERFRONT AREA PLAN



DATE	NO.	DESCRIPTION
10/1/20	6	REVISED PER COMMENTS
10/1/20	10	REVISED PER COMMENTS

SCALE: 1" = 20'



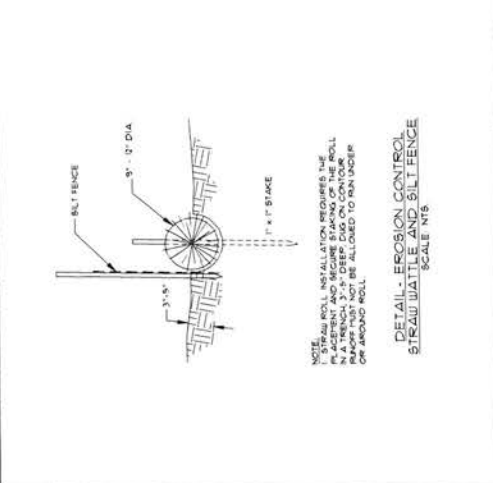
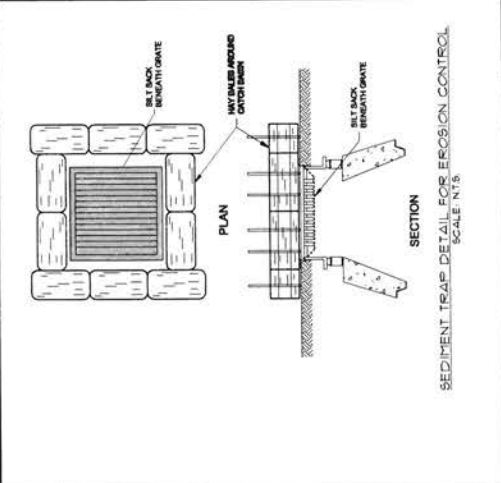
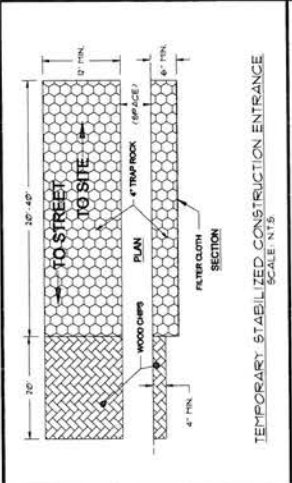
RIVERFRONT AREA TABULATION	
RIVERFRONT AREA ON PARCEL	72,891 S.F. (2)
100' RPA AREA	7,208 S.F. (2)
EXISTING DEGRADED AREA	42,220 (85%)
ADDITIONAL (NEW) RIVERFRONT AREA DISTURBANCE	5,275 S.F. (2)
PROPOSED MITIGATION	CONSERVATION BANKS

SITE PLAN
 SCALE: 1" = 20'

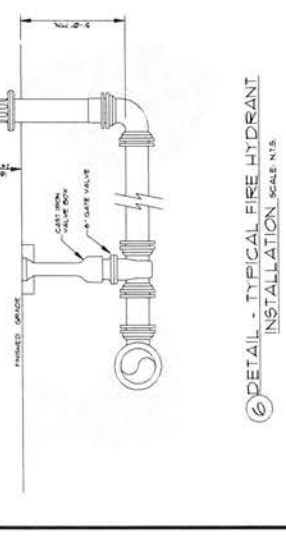
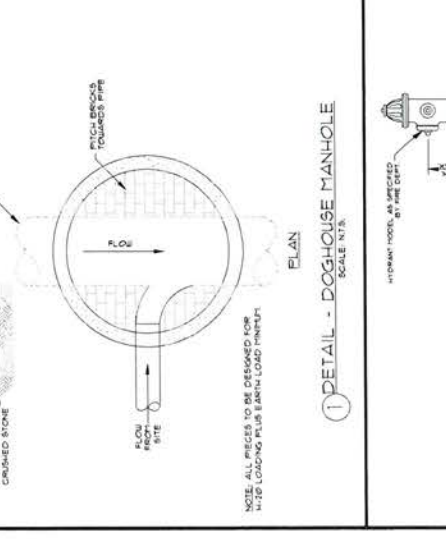
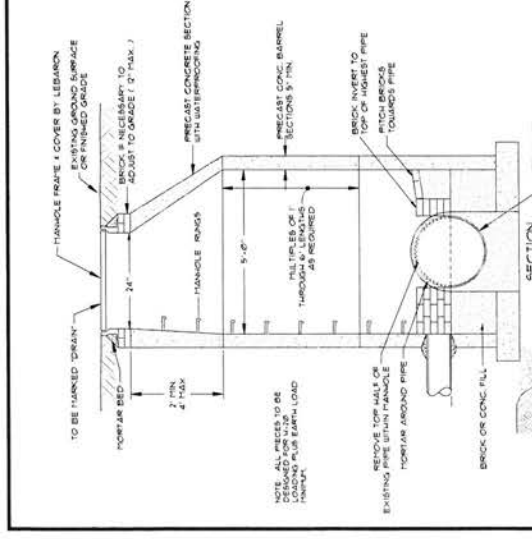
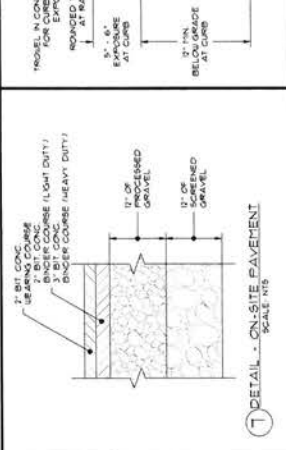
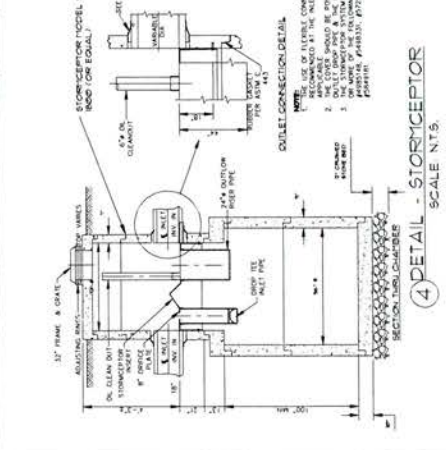
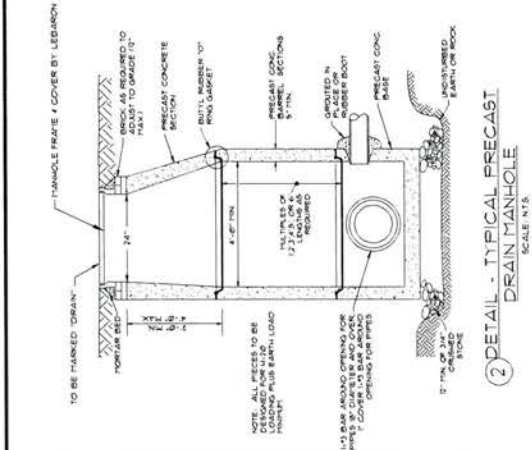
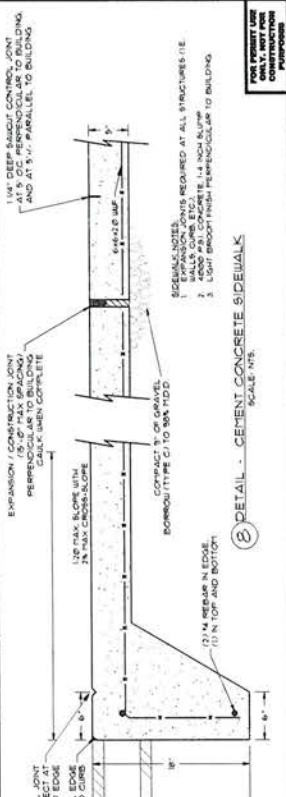
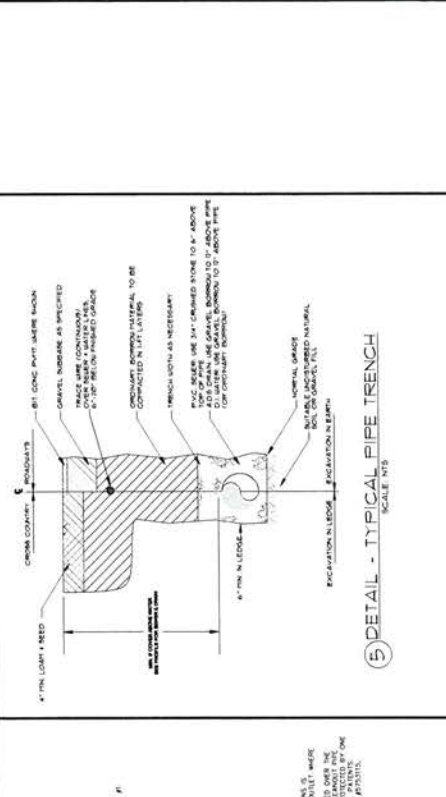
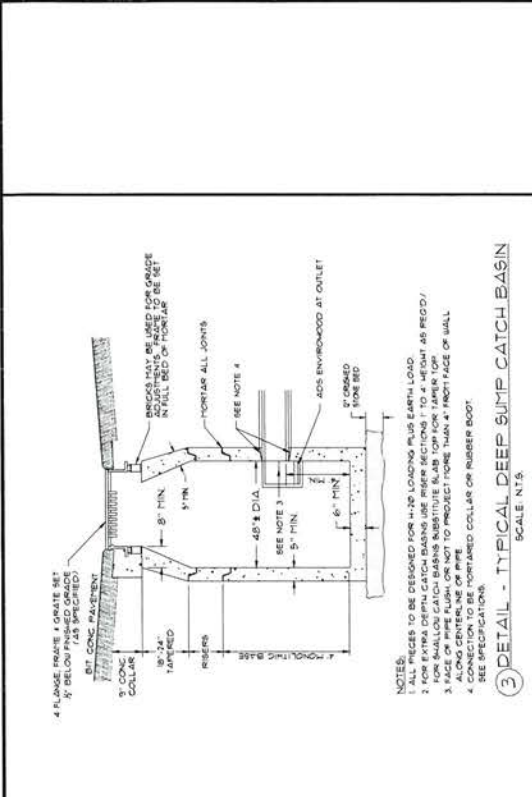
SITE PLAN
 SCALE: 1" = 20'

GRAPHIC SCALE
 1" = 20'

FOR PERMIT USE ONLY. NOT FOR CONSTRUCTION.



- EROSION CONTROL NOTES**
1. ALL EROSION CONTROL FENCES ARE TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO ANY EXCAVATION OR CONSTRUCTION UNTIL THE EXCAVATION OR CONSTRUCTION IS COMPLETED. ALL EROSION CONTROL FENCES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
 2. ALL SLOPES SHALL BE SEEDED, HYDRO SEEDING OR APPLIED WITH GROUND COVER SPECIFIED AS SOON AS CONSTRUCTION PHASES PERMIT.
 3. CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTIONS AND MAINTENANCE OF THE EROSION CONTROL FACILITIES THROUGHOUT CONSTRUCTION AND UNTIL ESTABLISHMENT OF PERMANENT EROSION CONTROL FACILITIES. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN EFFICIENT OPERATION OF THE FACILITIES DURING AND AFTER CONSTRUCTION.
 4. CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEANING ANY DEBRIS AND SEDIMENT CAUSED BY THE CONSTRUCTION.
 5. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE ENGINEER OR THE PERMITTING AGENCY.
 6. THE SOIL EROSION SEDIMENT CONTROL PROCEDURES AND DETAILS AS SHOWN SHALL BE FOLLOWED AND INSTALLED IN A MANNER SO AS TO MINIMIZE EROSION OF THE DISTURBED AREA AND PREVENT SEDIMENT FROM LEAVING THE SITE. ON EXISTING THE CONSTRUCTION SHALL BE INSTALLED AS SHOWN.
 7. THE CONTRACTOR WILL BE REQUIRED TO ACCOMMODATE ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES HAVE BEEN CONSTRUCTED AND MAINTAINED TO THE GRADE OR SURFACE TREATMENT ON THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. THE SEDIMENT REMOVED FROM THE CONTROL STRIP SHALL BE STORED ON SITE AND REUSED FOR THE CONSTRUCTION.
 8. ANY DISTURBED AREAS THAT SHALL BE SOLE FOR 30 DAYS OR LONGER, SHALL HAVE TEMPORARY GRASSING APPLIED.
 9. PRIOR TO ANY OTHER CONSTRUCTION, STABILIZED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT EACH ENTRY TO THE SITE AS DEPICTED.
 10. ADDITIONAL EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS TO PREVENT EROSION. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE GROUND IS RESTORED TO ORIGINAL OR BETTER CONDITION. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE GROUND IS RESTORED TO ORIGINAL OR BETTER CONDITION. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE GROUND IS RESTORED TO ORIGINAL OR BETTER CONDITION.
 11. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL CONSTRUCTION OF THE PROJECT IS COMPLETED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES. IF THE CONTRACTOR IS NOT ABLE TO REMOVE THE EROSION CONTROL MEASURES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES. IF THE CONTRACTOR IS NOT ABLE TO REMOVE THE EROSION CONTROL MEASURES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES.
 12. NO SEDIMENT SHALL BE PERMITTED TO ACCUMULATE ON THE PROJECT OR ON ADJACENT PARCELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT ACCUMULATES ON THE PROJECT OR ON ADJACENT PARCELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT ACCUMULATES ON THE PROJECT OR ON ADJACENT PARCELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT ACCUMULATES ON THE PROJECT OR ON ADJACENT PARCELS.
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 14. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEDIMENT CONTROL MEASURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT ACCUMULATES ON THE PROJECT OR ON ADJACENT PARCELS.
 15. CONDOT DUTY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT ACCUMULATES ON THE PROJECT OR ON ADJACENT PARCELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT ACCUMULATES ON THE PROJECT OR ON ADJACENT PARCELS.
 16. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEDIMENT CONTROL MEASURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL SEDIMENT THAT ACCUMULATES ON THE PROJECT OR ON ADJACENT PARCELS.
 17. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SATISFACTORIAL CONDITIONS, ANOTHER MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
 18. ANY SALES AND/OR STRAW MATS SHALL BE REPLACED EVERY 3 MONTHS TO MAINTAIN THEIR EFFECTIVENESS.
 19. CHEMICALS, FERTILIZERS, PESTICIDES, AND/OR HERBICIDES SHALL NOT BE USED ON THE PROJECT.
 20. SOILS CALIBRE SHALL BE USED TO MAINTAIN BEST CONTROL DURING CONSTRUCTION.
 21. CALCIUM CHLORIDE SHALL BE USED FOR DE-ICING OF ROADWAYS.



FOR PERMIT USE
 CONSTRUCTION
 PURPOSES

3 DETAIL - TYPICAL DEEP SUMP CATCH BASIN
 SCALE N.T.S.

5 DETAIL - TYPICAL PIPE TRENCH
 SCALE N.T.S.

7 DETAIL - ON-SITE PAVEMENT
 SCALE N.T.S.

2 DETAIL - TYPICAL PRECAST DRAIN MANHOLE
 SCALE N.T.S.

4 DETAIL - STORMCEPTOR
 SCALE N.T.S.

6 DETAIL - TYPICAL FIRE HYDRANT
 INSTALLATION SCALE N.T.S.

1 DETAIL - DOGHOUSE MANHOLE
 SCALE N.T.S.

INSTALLATION SCALE N.T.S.

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

EXHIBIT A
FINDINGS
SPECIAL PERMIT APPLICATION #848-15

I. INTRODUCTION

The Applicant, 79 Bridge Street Realty, LLC, Chrisoula D. Mahida, Manager, applied for a Special Permit (#848-15) by application filed on September 22, 2015. The application concerns the location of the former Searles School building located at 79 Bridge Street, Great Barrington, Massachusetts now owned by RiverSchool, LLC. The plans associated with that application were supplemented by submission of plans by SK Design Group, Inc. dated December 7, 2015, plans of Okerstrom-Lang, LTD dated December 14, 2015, Master Plan Narrative, the Applicant's Selectboard presentation of December 16, 2015, Letter from Smith Watson dated December 14, 2015. All of these items were submitted by the Applicant at the December 16, 2015 Selectboard Hearing. By letter dated January 12, 2016 the Applicant further duly amended its application by submission of items 1 – 6 of the following, and at the January 20, 2016 Selectboard hearing submitted item 7, all of which are collectively referred to hereafter as the "Revised Plans":

1. Revised Project Narrative prepared by SK Design Group, Inc.;
2. Revised Site Plans prepared by SK Design Group, Inc.;
3. Revised Storm Water Analysis prepared by SK Design Group, Inc.;
4. Revised Landscaping and Lighting Design prepared by Okerstrom-Lang, LTD.;
5. Revised Traffic Impact Analysis prepared by Fuss & O'Neill;
6. Parking License Agreement with Wheeler & Taylor, Inc.;
7. Revised Architectural Plans and Elevations prepared by BMA Architectural Group submitted January 20, 2016.

The Revised Plans include revised plans of SK Design Group, Inc. dated October 21, 2015 and November 16, 2015; Revisions of Okerstrom-Lang Ltd. dated October 20, 2015, November 17, 2015 and December 7, 2015; and Fuss & O'Neill Turning Radii Sketches and Memo submitted December 9, 2015. The Revised Plans are the documents applicable to this Special Permit.

The Application requests the following special permits under the noted sections of the Zoning Bylaw in connection with a proposed redevelopment of the Searles School building as an 88 room hotel with associated restaurant, pool and meeting rooms:

1. Section 3.1.4, C (8) – Hotel use in a B3 zone, and in excess of 45 rooms per Section 7.10.2.3 (SP #848-15, A);
2. Section 9.1 – Flood Plain Overlay District (FPOD) (SP #848-15, B);
3. Section 9.2.13 – Water Quality Protection Overlay District (WQPOD), Zone II; rendering impervious the greater of 15% of a lot or 2,500 square feet (SP #848-15, C)
4. Section 9.4.9 – Development in excess of 20,000 square feet in a B3 zone (SP #848-15, D)
5. Section 6.1.9 – Deviation from loading requirements (SP #848-15, E)

which are collectively referred to hereafter as the "Requested Special Permits."

The site Owner, River School Redevelopment, LLC, has given its permission for the Applicant to apply for these special permits.

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

II. FINDINGS OF FACT

After consideration of all of the submittals and evidence presented during the public hearing process, the Selectboard hereby makes the following findings:

A. Existing Site Description

The property is located at 79 Bridge Street in downtown Great Barrington, MA. The 3.1 acre parcel contains the former Searles school building along with an attached annex wing and, also attached, the old gymnasium building, as well as multiple parking areas, paved driveways and lawn areas. The footprint of the existing buildings is approximately 23,400 square feet. The gross aggregate floor area of the existing buildings, including all floors, totals approximately 59,300 square feet. The Housatonic River Walk is located along a defined easement area on the eastern portion of the property, between the parking area and wooded slope of the Housatonic River. The site is bordered to the north by Church Street and the former Bryant school building, now home to Iredale Mineral Cosmetics, to the east by the Housatonic River, to the south by Bridge Street and to the west by School Street. The property is further defined on the Town of Great Barrington Assessors' maps as Map 19, Lot 139.

B. Zoning Districts

The parcel is located entirely within the Downtown Mixed Use B3 zoning district. The following is a listing of the Dimensional Requirements per the Town of Great Barrington Zoning Bylaw:

DISTRICT	Minimum Area (Square Feet)	Lot Frontage (Feet)	Yard Minimum				Maximum Building Height (Feet)	Max. Coverage by Bldgs. (%)
			Front	Side	Rear	Stories		
B3	5,000	50	10	10	10	4*	40*	75%

* Maximum building height per the schedule of dimensional requirements is 4 stories, 40 feet except in accordance with 4.1.3 (11) – On lots in the B3 District of two acres or more, the height of a building shall be limited to 50 feet and 5 stories.

The entire property is also located within the Zone II of the Water Quality Protection Overlay District (WQPOD) as shown on the Great Barrington Zoning Map, dated May 4, 2015. A portion of the property falls within the 100-year floodplain of the Housatonic River, which requires compliance with Zoning Bylaw Section 9.1 Flood Plain Overlay District (FPOD). This area is as depicted on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) of Great Barrington, dated July 19, 1982. A portion of the adjacent Housatonic River Walk is within the FEMA-designated Floodway, but no developed portion of the site is within the Floodway.

C. Proposed Development

The Searles school site includes three buildings: the main school building, the annex building and the gymnasium. The proposed development includes a combination of redevelopment, preservation and demolition of a portion of the existing three-part Searles school complex. The main school building will be preserved and renovated to contain the hotel lobby, restaurant, and a front porch, as well as hotel rooms on the upper floors, as depicted on the Revised Plans. The former gymnasium building and the annex building will be removed and new structures built in their place, in modified footprints, as depicted on the Revised Plans. The existing parking areas, driveways, sidewalks and landscaping will also be demolished, and replaced with similar size, similar location supporting elements.

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

The proposed main building will have a 26,950 square foot footprint and contain an 88 guest room hotel with a 60-seat restaurant, as well as meeting space accessory to the hotel use. Entrances will be on both the north and south of the building. The north entrance will serve the main parking lot and will have a porte-cochere. This area allows patrons to load and unload for the hotel and enter the building for registration. A reconstructed looped drive will be constructed off of Bridge Street and will wrap around the east side of the hotel to the porte-cochere. A secondary entrance drive providing access to parking, loading and drop-off areas will be constructed off of Church Street. The existing south entrance, facing Bridge Street, will be reused and a new covered, wrap-around porch will be added to the south and east sides. Secondary building accesses will be located generally in each new building and at all stairwells.

Parking areas for the facility will be constructed to the north and west of the building. In total, there will be 99 parking spaces provided on-site for the development. As described below, this parking satisfies the Zoning Bylaw's parking requirements and the Selectboard finds it is otherwise adequate for the proposed use. The proposed site layout, building footprint, driveways and other proposed site work are depicted on the Revised Plans prepared by SK Design Group, Inc. and further described in the Revised Project Narrative. The floor plans of the proposed hotel are depicted in the plans prepared by BMA Architectural Group.

The former school building was serviced by municipal sewer and water, and the proposed use will also be serviced, via new connections, by municipal sewer and water. Municipal sewer is located in all the surrounding roads, with an inceptor line that bisects the property adjacent to the river. The Town's Wastewater Treatment facility has adequate capacity to receive sewerage flows from the proposed development. In connection with this application, the Town has requested and the Applicant has agreed to provide to the Town an easement to be established along the sewer line, 15 feet on each side, for maintenance purposes. This easement area is depicted on the Revised Plans. Municipal water is located in both Church Street and Bridge Street. Electric service is connected from a utility pole located on the corner of Church Street and River Street to a transformer located in the existing parking area. Utilities will be connected to the proposed buildings through new underground connections as depicted on the project plans.

Currently, storm water is poorly managed at the site. There are numerous catch basins and drain manholes located throughout the site. Some of these structures outlet into the drainage system located in Bridge Street and Church Street, some outlet into the sewer manholes located on the property and others outlet directly into the bank of the Housatonic River. As proposed, the development should control, minimize, mitigate and treat storm water in accordance with the Stormwater Management Standards promulgated by the Department of Environmental Protection and incorporated into the regulations under the Wetlands Protection Act (310 CMR 10.05(6)(k)). The Selectboard finds that the Revised January 12, 2016 storm water analysis submitted by the Applicant is acceptable and meets all applicable standards.

As to fire safety, there is a hydrant located at the intersection of Bridge Street and School Street, School Street and Church Street, and Church Street and River Street. Also, the new building will be constructed with a sprinkler system as the State Building Code requires buildings over 7,500 square feet to be sprinklered. A preliminary review with the Great Barrington Fire Department concluded that the front circular driveway is necessary for emergency vehicle access. Overall the Fire Department was satisfied with the design and the Selectboard adopts that finding, determining that the Revised Plans adequately provide for fire safety.

D. Applicable Sections of the Zoning Bylaw

The proposed development falls within several sections of the Zoning Bylaw. The construction of a hotel within a B3 zoning district requires a Special Permit from the Selectboard. Construction of hotels is also

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

required to meet the criteria outlined in *Section 7.10 Hotels and Motels*. Deviation from the maximum room counts in *Section 7.10.2* may also be allowed by Special Permit from the Selectboard. Parking, loading, and landscaping requirements necessary for the construction of a new building can be found in *Section 6.0*. Work within the floodplain of the Housatonic River requires a Special Permit from the Selectboard in accordance with *Section 9.1 Flood Plain Overlay District (FPOD)*. The property is also located within the Zone II of the *Water Quality Protection Overlay District (WQPOD)* and requires a Special Permit from the Selectboard per *Section 9.2.13*. The development must also comply with *Section 9.4 Downtown Mixed Use B3 District* and therefore requires a Special Permit from the Selectboard in accordance with *Section 9.4.9*. Finally, because the development requires a Special Permit in the B3 District and because the development meets the Site Plan Review applicability requirements of *Section 10.5.1*, the proposed project is also required to file for Planning Board Site Plan Review.

Each applicable section of the Zoning Bylaw is outlined below, along with findings related to compliance with the requirements of those sections.

E. Hotel and Motel Criteria and Specific Findings

These criteria and findings are specific to Special Permit #848-15, A. Applicable excerpts from the Zoning Bylaw are in italics. The Selectboard's findings relative thereto are in plain text.

Sections 3.1.4 C(8) and 7.10.1 of the Zoning Bylaw provide that hotels may be allowed by Special Permit from the Selectboard in the B3 zone. Section 7.10.2.3 provides that hotels may be permitted to exceed the 45 room limit in certain instances, and the Selectboard's findings relative thereto are as follows:

7.10.1 General. Hotels and motels may be allowed by special permit in those districts shown in Section 3.1.4, Table of Use Regulations.

7.10.2 Room Limits.

- 1. No hotel or motel shall contain more than 45 rental rooms.*
- 2. The limit in District B2A shall be 30 rental rooms.*
- 3. The Special Permit Granting Authority may authorize a deviation from the room limits above when hotels and motels are proposed as a component of a project that redevelops or reuses historic structures. Said structures are those listed on the State or National Register of Historic Places, a designated property in a Local Historic District, or determined in writing by the Great Barrington Historical Commission as historically, culturally, or architecturally significant to the town.*

The proposed hotel may be allowed by the Selectboard by special permit, but it may not contain more than 45 rooms unless authorized per *Section 7.10.2.3*. In this case the proposed hotel contains 88-rooms and is proposed as a component of a project that reuses and redevelops a historic structure.

Great Barrington Town Counsel advised the Selectboard in writing on November 9, 2015 that "the appropriate interpretation of *Section 7.10.2* is that in order for a project to be eligible for the room limit exemption, at least some portion of the historic structure on which the exemption is based must be preserved as part of the project." The opinion also stated that "the Selectboard will need to determine whether the proposed project will "redevelop" the Searles building in a manner that secures to the Town the benefit of the building's historic or cultural or architectural significance." Counsel also opined that the Selectboard has the ability to "impose conditions of that special permit which are aimed at preserving some measure of the building's significance."

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

The Great Barrington Historical Commission, at its meeting of June 1, 2015, designated the property to be historically, culturally, and architecturally significant to the Town. The Commission's June 5, 2015 letter to the Selectboard also includes, beginning on page 5, a list of the architectural features that contribute to the building's significance and which the Commission recommends be retained.

The Selectboard finds that the Great Barrington Historical Commission's June 1, 2015 vote qualifies the project for consideration of the room limit deviation authorized by Section 7.10.2.3.

The Selectboard finds that per the Revised Plans the proposal will preserve significant historical and architectural elements of the structure in such a way as to qualify for an exemption from the 45-room limit. On the exterior of the existing main building, the distinctive features, finishes, and construction techniques, or examples of craftsmanship that characterize this historic building, will be preserved. The proposal will preserve and renovate the exterior of the main building (the former Searles school), including architectural features determined by the Historical Commission to be significant, and will re-design the windows to be more historically accurate. The proposal will modify the existing former Searles building in ways that will restore aspects of the building, such as the windows, to be in harmony with their original design. The Applicant has proposed that as part of its project, it will also incorporate existing interior materials that bespeak the prior school use. The Applicant also represented that it will accumulate, assemble, and display to the public materials describing the history of the Searles (and Bryant) schools and the history of the Housatonic River. The Applicant has further represented that it will retain a local interior designer in order to integrate historical displays as well as local art into the hotel interior.

The Selectboard finds that the proposal as depicted and described in the Revised Plans will give the former school building and the site a new use, and that in turn will require a level of change to some aspects of the existing buildings, materials, and features of the site. Notwithstanding, the Selectboard will impose conditions on the Special Permit to ensure that significant existing architectural details and materials shall remain and be rehabilitated, restored, or reconstructed using accepted standards for the treatment of historic properties.

Given the complexity inherent in a historic renovation project of this scope, and given the need and desire to preserve certain historical elements of the former Searles school building, including the main building itself, the Selectboard also finds that it desires an assurance that the Applicant will have the appropriate level of regional or national expertise in projects of similar scope and scale on its project team. Therefore the Selectboard will impose a condition on this Special Permit that the Applicant notify the Selectboard as to who on its team provides this expertise to guide the design and construction work.

F. Off-Street Parking and Loading Criteria and Specific Findings

These criteria and findings are specific to Special Permit #848-15, E. Applicable excerpts from the Zoning Bylaw are in italics. The Selectboard's findings relative thereto are in plain text.

Off-street parking is required for any new structure to be built on a lot. Parking requirements for the project are as follows in accordance with *Section 6.1.2 – Table of Parking Requirements*:

Total On-Site Parking Required:	88 spaces (one per sleeping room)
Total On-Site Parking Proposed:	99 spaces

Proposed parking areas are shown throughout the site. Most of the parking will be located behind the building. A majority of parking spaces are 9'x20', with 24'-0" aisles and traveled ways. Five (5) spaces are designated as accessible spaces in accordance with ADA regulations, and eight (8) spaces are

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

designated as compact car spaces in accordance with the Zoning Bylaw, which measure 8'x16'. An electric charging station is located on the north end of the center parking aisle designating four (4) spaces as electric vehicle parking spaces. There shall be five (5) parking spaces located on site that are dedicated to the Housatonic River Walk. These five (5) spaces are located on the northeast portion of the property, adjacent to the DuBois rain garden. All of the above designated spaces are located within the proposed 99 on-site parking spaces area.

In addition to the on-site parking, the Applicant has worked with a local property owner to develop an off-site parking agreement. This parking, to be used strictly for valet and employee parking, will be located on the Wheeler & Taylor property at 325 and 333 Main Street. This 40-space parking lot is subject to an agreement that may be terminated or extended from year to year. In total, this provides the proposed project with a total of 139 parking spaces both on and off-site.

With regards to loading, new buildings are required to be designed with accessory loading spaces for deliveries of supplies to both the hotel and restaurant. In accordance with Zoning Bylaw Section 6.1.6, three (3) designated loading spaces, measuring a minimum of 200 square feet with a minimum clearance height of fourteen so as (14) feet, are required for a building greater than 20,000 square feet. A loading area meeting those requirements is proposed at the end of the north annex. This building entrance is the main service entrance to both the hotel and restaurant, and provides direct access to stairs and the elevator. The Applicant has requested a waiver from the required three (3) loading spaces, and proposes only one loading space.

The Selectboard hereby finds that 88 parking spaces are required on-site. The on-site parking as proposed satisfies the Zoning Bylaw requirement and will be adequate for the proposed use. The restaurant and the meeting rooms are accessory to the hotel use and do not require parking spaces in addition to those of the hotel.

The Selectboard finds that the proposed supplemental off-site parking is not necessarily required by the Zoning Bylaw. Therefore, the Selectboard will impose a condition to review, after a period of years of hotel operation, whether any off-site parking is still needed to serve the use.

The Planning Board found that one loading space is all that is practically needed and recommended the Selectboard grant a Special Permit so as to deviate from the loading requirements by providing only one loading space. The Selectboard also finds that only one loading space is needed to serve the proposed use.

G. Flood Plain Overlay District Criteria and Specific Findings

These criteria and findings are specific to Special Permit #848-15, B. Applicable excerpts from the Zoning Bylaw are in italics. The Selectboard's findings relative thereto are in plain text.

A portion of the site is within the 100-year floodplain of the Housatonic River and is subject to the regulations of Section 9.1 of the Zoning Bylaw. Applicable regulations of this Section and the Selectboard's findings relative thereto are as follows:

9.1.4 Special Permit. Any person desiring to establish any permitted use in a FPOD involving or requiring the erection of new structures and/or alteration or moving of existing structures or dumping, filling, transfer, relocation or excavation of earth materials or storage of materials or equipment shall submit an application for a special permit to the Board of Selectmen in accordance with the provisions of Section 10.4. Such application shall describe in detail the proposed use of the property and the work to be performed and shall be accompanied by plans as specified therein. In addition to the information required thereby, such plans shall also include boundaries and dimensions of the lot, existing and

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

proposed drainage easements, all existing and proposed fill, existing and proposed sewage disposal facilities, means of access and mean sea level elevation, with contour separation of two feet or less, of the existing and proposed land surface, cellar floor and first floor.

The Revised Plans and supporting information submitted by the Applicant describe how the proposed project complies with all of these requirements. The Revised Plans provide detailed information pertaining to the existing site conditions, along with proposed project, grading, drainage and utilities.

9.1.5 Submittals. The SPGA shall ensure that the applicant provides sufficient information to determine:

- 1. That the floor level of areas to be occupied by human beings as living or working space shall be at a safe elevation;*
- 2. That furnaces and utilities are protected from the effects of flooding and that the structure will withstand the effects of flooding in accordance with the State Building Code;*
- 3. That the proposed construction, use or change of grade will not obstruct or divert the flood flow, reduce natural water storage or increase stormwater runoff so that water levels on other land are substantially raised or danger from flooding increased;*
- 4. That safe vehicular and pedestrian movement to, over and from the premises is provided in the event of flooding; and*
- 5. That the proposed methods of drainage and sewage disposal are approved by the Board of Health and will not cause pollution or otherwise endanger health in the event of flooding.*

The Revised Plans and supporting information show that finish ground floor of the hotel, and all doorways, will be at elevation of 677.25' which is higher than the base flood elevation for the 100-year flood event of 675.50'. Occupied floor levels will be constructed above flood elevations and therefore the proposed elevations are safe for living or working space.

The mechanical room is located in the basement of the hotel. There are no windows in the basement and the flood elevation does not reach the building; therefore, it is expected that no floodwaters will impair any utilities in the mechanical room.

Work proposed in the floodplain is within a previously developed area. This includes the demolition of existing pavement and curbs, drainage structures, fences and lawn areas. The area will be minimally graded to improve drainage and new pavement will be installed. Neither the change in grade nor the pavement will obstruct or divert flood flow, or reduce natural water storage. Storm water run-off will be mitigated through on-site storm water best management practices. The Selectboard finds that the proposed storm water management plan and proposed site work will not reduce natural water storage or increase storm water runoff, such that the risk of flooding is not substantially increased

There are two (2) proposed main vehicular entrances to the hotel site. The entrance along Bridge Street is located above the flood level. This should always be available during a flood event. The entrance along Church Street is located within the 100-year floodplain. Pedestrian and vehicular traffic can flow freely from the front to the rear of the property and should not be impaired during a flood event.

Because the project will be connected to the municipal sewer, Board of Health approval is not required. The Board of Health has not objected to any aspect of the proposal. Because the property will be tied into the municipal sewer system, there is no risk of pollution, as could occur with a subsurface sewage disposal system. The storm water management system is also being reviewed by the Conservation Commission and an Order of Conditions approving the improvements depicted on the Revised Plans that are within the jurisdiction of the Conservation Commission will be required prior to the issuance of a building permit.

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

The proposal meets the requirements of Section 9.1.5.

9.1.6 Decision. The SPGA may issue a special permit in compliance with all applicable provisions of this Bylaw, for establishment or alteration of a permitted use in a FPOD, provided that the SPGA determines the following. Such findings shall be in addition to the findings required by Section 10.4.

- 1. The use would otherwise be permitted if such land were not, by operation of this section, in the FPOD; and,*
- 2. The use of such land for the proposed purpose will not interfere with the general purpose for which such FPODs have been established.*

The proposed use, a hotel, is otherwise permitted in a B3 District by Special Permit.

The proposed hotel does not interfere with the general purpose of the FPOD because the work in the floodplain includes parking improvements, grading, landscaping and storm water features that do not interfere with the purpose of the FPOD, and the proposal includes stormwater mitigation features that comply with the Massachusetts Stormwater Management Standards.

9.1.8 Encroachment in the Floodway:

There are no structures proposed within the floodway.

9.1.9 Effect (compliance with the Wetlands Protection Act)

The Applicant filed a Notice of Intent with the Great Barrington Conservation Commission on September 22, 2015, which is currently under review.

H. Water Quality Protection Overlay District and Specific Findings

These criteria and findings are specific to Special Permit #848-15, C. Applicable excerpts from the Zoning Bylaw are in italics. The Selectboard's findings relative thereto are in plain text.

The property is entirely within a Zone II of the Water Quality Protection Overlay District. Section 9.2.13 requires Special Permits for certain work within the WQPOD.

9.2.13 Uses and Activities Requiring a Special Permit. The following uses and activities are permitted only upon the issuance of a special permit by the Board of Selectmen (SPGA) under such conditions as it may require:

- 1. Enlargement or alteration of existing uses that do not conform to the WQPOD;*
- 2. Those activities that involve the handling of toxic or hazardous materials in quantities greater than those associated with normal household use, permitted in the underlying zoning district (except as prohibited hereunder). Such activities shall require a special permit to prevent contamination of groundwater;*
- 3. Any use that will render impervious more than 15% of any lot or parcel or 2,500 square feet, whichever is greater. A system for groundwater recharge must be provided which does not degrade groundwater quality. For nonresidential uses, recharge shall be by stormwater infiltration basins or similar system covered with natural vegetation, and dry wells shall be used only where other methods are infeasible. For all nonresidential uses, all such basins and wells shall be preceded by oil, grease, and sediment traps to facilitate removal of contamination. Any and all recharge areas shall be permanently maintained in full working order by the owner.*

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

Special permits for nonresidential uses as described in this subsection are not allowed in the Surface Water Source Protection Zones A and B.

Items 1 and 2 do not apply to this proposed development. Item 3 does apply.

The project proposes groundwater infiltration in accordance with the enlarged impervious area and the Stormwater Management Standards applicable under the Wetlands Protection Act. Infiltration occurs through collecting roof-top run-off and discharging it to underground chambers. Some infiltration will occur through the rain gardens as well.

The Stormwater Management Standards outline criteria for calculating the required recharge volume. The volume is equal to the target depth factor multiplied by the impervious area. The amount of new impervious area for the development is 7,400 square feet. The Revised Plans indicate that at this site, given the existing soil types, 216 cubic feet of recharge volume is required. The Revised Plans indicate that the infiltration trench located along Bridge Street and the infiltration bed located in the rear parking area provide 2,338 cubic feet of volume. Therefore, the Selectboard finds that the required amount of recharge volume is provided.

9.2.14. 3. The SPGA may grant the required special permit only upon finding that the proposed use meets the following standards, those specified in 9.2.8, 9.2.9, and 9.2.10 and any regulations or guidelines adopted by the SPGA. The proposed use must:

- a. In no way, during construction or thereafter, adversely affect the existing or potential quality or quantity of water that is available in the Water Quality Protection District; and*
- b. Be designed to avoid substantial disturbance of the soils, topography, drainage, vegetation, and other water-related natural characteristics of the site to be developed.*

The Selectboard finds that the proposed storm water infiltration plan complies with the requirements of this section and the development complies with the standards set forth in sections 9.2.7, 9.2.8 and 9.2.9.

The Selectboard finds that given the design and amount of proposed recharge, the project will not diminish the quantity or quality of water available in the Water Quality Protection Overlay District. Because this is a redevelopment of an already developed site and because the footprints of the proposed structures are not significantly increasing, the proposed redevelopment avoids substantial disturbance of soils, changes in topography, drainage, vegetation and other water-related natural characteristics of the site. The proposed storm water system will substantially improve the existing storm water management system on the property.

I. Downtown Mixed Use B3 District Criteria and Specific Findings

These criteria and findings are specific to Special Permit #848-15, D. Applicable excerpts from the Zoning Bylaw are in italics. The Selectboard's findings relative thereto are in plain text.

The Bylaw provides as follows:

9.4.1 Purpose. The Downtown Mixed-Use B3 District is a transitional area between the downtown business core and the residential neighborhoods. It is designed to protect the traditional character of these areas and to assist in revitalizing, preserving, and expanding the character of the traditional downtown core. The district is designed to enhance the downtown by providing a pleasing mix of land uses that work together and result in a lively, prosperous town center, that serves as an attractive place to live, work, shop, and recreate. Mixed uses may occur vertically or horizontally. Development and redevelopment in the district is intended to respect the traditional scale, massing, and character of the

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

downtown. The district is intended to foster a positive pedestrian environment with active pedestrian amenities. Specific objectives of the Downtown Mixed-Use District are to:

The proposed development meets the purpose of the B3 zoning district. The project proposes to preserve and restore a vacant school building. The proposed hotel, including the main existing building to be retained, and the proposed new wings to be built, will complement the existing scale, massing and character of buildings on the property and in the vicinity. The hotel use will encourage pedestrian traffic to Main Street, which will serve to reduce vehicle traffic from the proposed use. The development is a redevelopment of a site that has remained vacant for years. The Applicant has agreed to cooperate in providing five (5) parking spaces for use of the adjacent Housatonic River Walk.

9.4.4 Permitted Uses. Permitted uses in the Downtown Mixed-Use B3 District are enumerated in Section 3.1.4, the Table of Use Regulations. The permitted uses are intended to promote mixed use and compatibility between residential and nonresidential uses.

Section 3.1.4 provides that a hotel use may be permitted by Special Permit from the Selectboard.

9.4.5 Dimensional Requirements. Dimensional requirements in the Downtown Mixed-Use B3 District shall be as set forth in Section 4.0. The dimensional requirements reflect the proximity to downtown.

The Revised Plans comply with the dimensional requirements of Section 4.0. There are no dwelling units proposed as a part of this application, therefore the residential density limitation of this section does not apply.

9.4.6 Open Space. The Minimum open space required shall be 20% of the total lot area, subject to reduced requirements earned through incentives described in this section and granted by special permit. For the purpose of this section, "open space" shall be defined as yards, playgrounds, walkways and other areas not covered by parking and driveways; such open space need not be accessible to the public.

The property is approximately 3.1 acres, or 135,035 square feet. Therefore, there should be a minimum of 27,007 square feet of open space. Per the Revised Plans, there is approximately 34,750 square feet of open space proposed as a part of this application. This includes the River Walk area located along the eastern portion of the property, and the landscaped and lawn areas located around the property. As such, the 20% open space requirement is met.

9.4.7 Parking. Parking requirements for residential dwelling units shall be two parking spaces for each of the first five units and 1 1/2 spaces for each additional unit; parking requirements for related uses shall be calculated in accordance with Section 6.1. Parking requirements for business (nonresidential) uses shall be calculated in accordance with the minimum requirements in Section 6.1.2 the Table of Required Minimum Parking. Parking areas shall be safely and conveniently accessible from the buildings they serve. No parking space shall reduce the effective width of a driveway providing access to more than one dwelling unit to less than 12 feet.

Parking is proposed in accordance with Section 6.1.2 as described above.

9.4.8 Site Plan Review. A development on a parcel or parcels in excess of 10,000 square feet of land shall be subject to site plan review by the Planning Board. No building permit for such a development shall be issued by the Building Inspector until the Planning Board has conducted site plan review in accordance with Section 10.5.

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The Applicant received Site Plan approval from the Planning Board at the January 28, 2016 Planning Board meeting.

9.4.9 Special Permit. Uses indicated in the Table of Use Regulations, and any development or redevelopment in excess of 20,000 square feet of gross floor area, regardless of use, shall require a special permit. A special permit shall be required for any project seeking to use the density or open space incentives defined in this section. The Board of Selectmen (SPGA) may grant a special permit in accordance with the provisions of Section 10.4.

The Applicant has requested a special permit in accordance with this section. Compliance with Section 10.4 is discussed below.

9.4.10 Development Incentives.

The Applicant has not requested development incentives.

J. Special Permit Criteria and Specific Findings

These criteria and findings apply to all Special Permits requested by the Applicant, i.e., Special Permits #848-15, A - E. Applicable excerpts from the Zoning Bylaw are in italics. The Selectboard's findings relative thereto are in plain text.

10.4.2 Criteria. Special permits shall be granted by the Special Permit Granting Authority, unless otherwise specified herein, only upon its written determination that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site. In addition to any specific factors that may be set forth in this Bylaw, the determination shall include consideration of each of the following:

- 1. Social, economic, or community needs which are served by the proposal;*
- 2. Traffic flow and safety, including parking and loading;*
- 3. Adequacy of utilities and other public services;*
- 4. Neighborhood character and social structures;*
- 5. Impacts on the natural environment; and,*
- 6. Potential fiscal impact, including impact on town services, tax base, and employment.*

The Selectboard incorporates herein all of its other findings and the Selectboard hereby makes the following additional findings in accordance with Section 10.4.2:

1. The Selectboard finds that social, economic, and community needs will be served by the proposal because: (i) the Revised Plans retain the historic existing main building and adaptively reuse it; (ii) the Revised Plans add new structures to the historic main building in ways that complement the scale of buildings in the vicinity and do not detract from the historic main building; (iii) the Revised Plans are pedestrian friendly because of the sidewalks, terrace, porch and nearby River Walk; (iv) the Applicant has worked in cooperation with the Housatonic River Walk program of the Great Barrington Land Conservancy, to enhance and protect natural resources associated with the adjacent Housatonic River and the Housatonic River Walk; (v) the Revised Plans incorporate renewable energy sources and reduce energy consumption; (vi) the development of a hotel in proximity to the downtown area will bring vibrancy to that area; (vii) the hotel will provide needed meeting room space; (viii) the development and operation of the hotel will create job and career opportunities; (ix) A hotel will increase tourism for the Town; and, (x) hotel uses help

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

diversify the tax base and provide both room taxes and property taxes in amounts that will offset the cost of municipal services and provide net tax revenue for the Town.

Notwithstanding, the Selectboard finds that construction and demolition involving noise and dust may impact the surrounding neighborhood, and may impose requirements to control dust, noise, and work days and/or work hours.

2. The Selectboard finds that there will be minimal adverse traffic flow issues, no safety issues and that parking and loading are adequate as proposed. The onsite traffic flow provides for safe vehicular and pedestrian flow. The development promotes pedestrian activities which will result in less traffic impact.

Notwithstanding, the Selectboard also finds that possible increased traffic onto Church Street and River Street may negatively impact those streets and adjacent residential areas. Therefore, the Selectboard will impose a condition on this Special Permit that requires the Applicant or Owner to use directional signage to direct its hotel guests to exit onto Bridge Street, rather than Church Street or River Street.

3. The Selectboard finds that utilities and other public services are adequate for the proposed use. The proposed design will have no significant adverse impacts on the natural environment. The proposal adds rain gardens and storm water management practices to the site that will enhance water quality. The Applicant has worked with the River Walk program to enhance the River Walk adjacent to the subject property. The proposed landscape focuses on native species.
4. The Selectboard finds that neighborhood character and social structures are not harmed by the proposed use and that the project will have beneficial impacts on neighborhood character and social structure. The historic Searles building is largely being reused. The project does not significantly deviate from the existing foot print and scale of the Searles building. The existing property is vacant, degrading, and has suffered vandalism and graffiti. The hotel will revitalize the area. The Applicant worked with the owner of the adjacent Iredale Mineral Cosmetics property to complete an integrated Bryant/Searles campus.
5. The Selectboard finds that there are no locally significant negative impacts on the natural environment. The proposal will benefit the environment by markedly improving stormwater infiltration. The proposal will benefit the environment through its partnership with River Walk, which includes parking for River Walk users, access to the Housatonic River Walk, and a direct contribution of funds to River Walk for River Walk projects. The proposal will benefit the environment by planting trees and landscaping that are harmonious with the existing River Walk plantings. The proposal will benefit the environment by not using chemicals to treat or fertilize its landscaping, which is also in keeping with the River Walk operations.

The Selectboard finds that limits on phosphates are desired, however, to benefit the environment and limit impacts on the Town's wastewater treatment plant. The Selectboard also finds that the Applicant should take appropriate measures to protect and retain the Red Oak tree at the southeastern driveway entrance, including locating the sewer connection outside of its drip line.

6. The Selectboard finds that there will be an overall positive fiscal impact for the Town. The proposal is estimated by the Applicant to net at least an additional \$450,000 in property tax, hotel room tax, and meals tax revenues to the Town. In addition, the project will pay both sewer and water fees. The project will generate construction activity and temporary jobs therewith, and will generate an estimated 30 full time job equivalents when it is in operation.

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

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In view of the foregoing considerations, the Selectboard finds that the benefits of the proposal outweigh any possible negative impacts of the proposal, and will impose the following conditions to ensure certain benefits to the Town and to protect against possible negative impacts:

III. SPECIAL PERMIT CONDITIONS

1. The issuance of this Special Permit does not obviate compliance with the requirements or conditions imposed on the Applicant by the Conservation Commission for work within its jurisdiction.
2. Prior to the issuance of any Demolition or Building Permit, the Applicant shall inform the Selectboard, with a copy to the Town Manager, which engineering or architectural firms or professionals on its team has relevant and successful, regional, statewide, or national expertise in historic renovation projects similar in scope and scale to this project.
3. Prior to the issuance of any Demolition or Building Permit, the owner shall grant the Town an easement along, in and through the sewer line located upon the property, 15 feet on each side for a total of 30 feet wide, for maintenance purposes, and shall record the easement in the Registry of Deeds. The location of the proposed easement is indicated on Sheet 5 of 10 of the Revised Plans prepared by SK Design Group dated January 12, 2016.
4. Prior to the issuance of any Demolition or Building Permit, the owner shall grant the Great Barrington Historical Commission access to the structures, particularly the sections to be razed, for the purpose of documenting the appearance of their interiors and exteriors through:
 - a. Photography. The images will be deposited in the Town Historical Collection.
 - b. The preservation of selected artifacts. The Commission will request the owner donate selected architectural fragments, building parts and/or furnishings for deposit in the Town Historical Collection, providing the owner has no plans for their re-use as a part of the rehabilitation project or planned public programs.
5. Prior to the issuance of a Building Permit, the stormwater management system being reviewed by the Conservation Commission must receive an Order of Conditions approving the improvements depicted on the Revised Plans that are within the jurisdiction of the Conservation Commission.
6. Prior to the commencement of work within the 200-foot Riverfront Area, an Order of Conditions is required. The Conservation Commission is currently reviewing the Applicant's Notice of Intent for this work. For a delineation of the 200-foot Riverfront Area, see Sheet 6 of 10 of the Revised Plans prepared by SK Design Group dated January 12, 2016.
7. Prior to the issuance of a Certificate of Occupancy, the project must be connected to the municipal sewer system. Per the Planning Board's Site Plan Approval condition, the connection to the sewer main shall be made outside of the drip line of the Red Oak tree that is at the southeast driveway.
8. Prior to issuance of a Certificate of Occupancy, the Applicant shall provide a letter from its architect to the Building Inspector, with copy to the Selectboard and Town Manager, certifying that the following items, all of which are critical to the historical and architectural significance of the existing main structure and to the Town, have been satisfied:
 - i. All work on the exterior of the existing main building shall be done to meet the following standards:
 - a. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the historic and architectural significance of the property shall be preserved as depicted in the Revised Plans;
 - b. Deteriorated historic features shall be repaired rather than replaced;

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- c. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials;
 - d. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;
 - e. Treatments that cause damage to historic materials shall be avoided.
 - ii. The existing main building shall be preserved, and the overall shape and massing of the main building shall be as depicted in the Revised Plans;
 - iii. The existing hip roofs on the east and west dependencies and the front-facing pedimented gabled roof shall be as depicted in the Revised Plans;
 - iv. The cornice with modillions beneath the east and west eaves of the central block of the building shall be restored and preserved;
 - v. The two massive, arched brick chimneys shall be retained. The non-arched chimneys in the east and west wings will not remain;
 - vi. The existing aluminum windows shall be replaced with wood clad 6/6 (6 over 6) and 9/9 (9 over 9) windows as depicted on the Revised Plans;
 - vii. The rhythmic fenestration pattern of the windows shall be restored, except as depicted on the Revised Plans where, for example, the basement is removed and a new first floor configuration is established;
 - viii. The decorative oculus window in the pediments of the central block shall be as depicted on the Revised Plans;
 - ix. The native blue dolomite shall be preserved, except that the basement windows will be removed and the dolomite reconfigured as depicted on the Revised Plans;
 - x. The water struck brick, laid in Flemish bond in the central and outer dependencies, shall remain except as replacement may be necessary in connection with the replacement windows noted above. The hyphen sections connecting the three main sections of the building will be reconstructed as depicted on the Revised Plans, and brick that is similar in material, color and style to the original will be used in those areas;
 - xi. The terra cotta embellishments at the main entrance as well as the arched frame and decorative metal grillwork over the half-round transom windows shall remain, except that the existing portico will be replaced by the new porch structure as depicted on the Revised Plans;
 - xii. The existing Quoins shall remain;
 - xiii. The patterned brick aprons beneath the existing windows, central section and the dependencies shall remain; and as depicted on the Revised Plans, those features shall be replicated in the newly configured hyphens;
 - xiv. The belt course in the central section and the dependencies shall remain; and as depicted on the Revised Plans that feature shall be replicated in the newly configured hyphens;
 - xv. The new additions proposed to replace the former gymnasium and annex shall be as depicted in the Revised Plans and shall be undertaken in such a manner that if removed in the future the essential form and integrity of the historic main building will be unimpaired.
9. Detergents used in the hotel shall have phosphorus levels that are compliant with the Massachusetts phosphate law, MGL Ch. 111, section 5R.
10. Directional signage shall be used to direct traffic to exit onto Bridge Street rather than Church Street.
11. Forty (40) off-site parking spaces shall be available for the use of the Applicant for a minimum of one year. After one year of hotel operation, the Selectboard may, at the Applicant's request, revisit whether 40 off-site parking spaces are required to serve the hotel and its accessory uses. The Selectboard may make such review only at a public hearing. After review, the Selectboard may reduce the required off-site parking as it sees fit. The Applicant or Owner may prepare

FINDINGS FROM PREVIOUS SPECIAL PERMIT #848-15, A-E

Findings, Decision, & Conditions SP#848-15 for 79 Bridge Street Realty

paperwork for the Selectboard's signature as required for recording in the Registry of Deeds to amend this condition. Unless the Selectboard takes action to the contrary, the requirement for 40 off-site spaces shall remain in force.

12. The Applicant and owner will communicate with and coordinate their work with the Town and the Massachusetts Department of Transportation, particularly as these two entities engage in their planned infrastructure and bridge improvements between 2016 and 2018 on Bridge Street and School Street.
13. The Applicant and its contractors shall utilize all appropriate noise and dust control during all demolition and construction phases of this project.
14. The Town reserves the right to restrict the work hours and/or work days above the requirements of Chapter 115 (Noise Control) of the Town Code, if problems arise.
15. Code, if problems arise.

SB SP # 898-19

TOWN OF GREAT BARRINGTON

NOTICE OF PUBLIC HEARING

The Great Barrington Selectboard will hold a public hearing on Monday, October 7, 2019 at 7:00 pm at Town Hall, 334 Main Street, Great Barrington, MA, to act on the Special Permit application from Green Houses Partners, LLC, 70 Rowe Road, Great Barrington, to install an in-ground swimming pool at 27 Humphrey Street, Great Barrington, in accordance with Sections 3.1.4 G(12) and 10.4 of the Great Barrington Zoning Bylaw. A copy of the application is on file with the Town Clerk.

Stephen Bannon, Chair

Please publish September 6 and September 13, 2019

Berkshire Record

"PH advert 898-19 green houses partners"

S:\All Departments\Special Permits\898-19, Green Houses Partners for swimming pool

SP # 898-19

Special Permit application from Green Houses Partners, LLC, 70 Rowe Road, Great Barrington, to install an in-ground swimming pool at 27 Humphrey Street, Great Barrington, in accordance with Sections 3.1.4 G(12) and 10.4 of the Great Barrington Zoning Bylaw

DRAFT MOTIONS

VOTE ON FINDINGS

(If the Board has amended the Findings based on the Public Hearing and its discussion, specify those changes and approve the findings "as amended.")

Motion: ____ Move to approve the Findings of Fact for Special Permit #898-19, as submitted and referenced as Exhibit A.

Second: ____

Roll call vote: Davis ____ Burke ____ Cooke ____
Abrahams ____ Bannon ____

VOTE ON SPECIAL PERMIT

Motion: Move, in view of the approved Findings of Fact, to approve Special Permit #898-19 to install an swimming pool at 27 Humphrey Street in accordance with Sections 3.1.4 G(12) and 10.4 of the Zoning Bylaw

Second: ____

Roll call vote: Davis ____ Burke ____ Cooke ____
Abrahams ____ Bannon ____

EXHIBIT A

FINDINGS OF FACT AND BASIS FOR DECISION

Re: Special Permit #898-19, 23-29 Humphrey Street

Introduction

This Special Permit application was filed on August 29, 2019 by Green Houses Partners, LLC, the owner of the property at 23-35 Humphrey Street, the subject site. The Applicant is seeking special permit approval as per Zoning Bylaw Section 3.1.4 G(12) in order to construct a ground swimming pool in a B-3 zone.

General Findings

The site is the former Dolby Florist site at the corner of Humphrey Street, on the east side of the Housatonic River and west of East Street. The site falls mostly within the B3 Downtown Mixed Use zoning district. A small area of the eastern portion of the site falls within the R1B residential zoning district, and by special permit #870-17 this zoning district line was moved 50 feet east.

The former florist buildings have been demolished and the site has been redeveloped with three new single family homes, in accordance with previously granted permits from the Planning Board, Conservation Commission, and Selectboard. The site is adequately served by municipal water and sewer.

The proposed project received a positive recommendation from the Board of Health and Planning Board. The Conservation Commission noted that swimming pools installed in lawn areas are exempt from its jurisdiction.

Special Permit Criteria and Findings

Section 10.4.2 of the Zoning Bylaw, granting of a special permit requires a written determination by the Special Permit Granting Authority “that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site.” This determination shall include consideration of the following criteria:

1. Social, economic, or community needs which are served by the proposal;
2. Traffic flow and safety, including parking and loading;
3. Adequacy of utilities and other public services;
4. Neighborhood character and social structures;
5. Impacts on the natural environment; and,
6. Potential fiscal impact, including impact on town services, tax base, and employment.

Consideration of the Criteria in relation to SP #898-19:

Per Section 10.4.2 of the Zoning Bylaw, granting of any special permit requires a determination by the Special Permit Granting Authority “that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood, in view of the particular characteristics of the site, and of the proposal in relation to that site.”

Criterion 1. The proposed swimming pool is a private pool and will have no significant impact on social economic or community needs.

Criterion 2. The proposal will have no detrimental impact on traffic flow, safety, parking or loading.

Criterion 3. The proposal will have no detrimental impact on utilities or public services.

Criterion 4. The proposal will have no detrimental impact on neighborhood character and social structures.

Criterion 5. The proposal will have no detrimental impact on the natural environment.

Criterion 6. The proposal will have little or no fiscal impact.

Finding:

In consideration of the above Findings, this Selectboard finds that the benefits of the proposal outweigh possible detrimental impacts.

Proposed Condition(s):

None

DRAFT



TOWN OF GREAT BARRINGTON
MASSACHUSETTS

PLANNING BOARD

October 3, 2019

Selectboard
Town Hall
334 Main Street
Great Barrington, MA 01230

Re: Special Permit #898-19

Dear Members of the Selectboard;

At its meeting of September 26, 2019, the Planning Board voted to send a positive recommendation on the special permit application for Greenhouse Partners LLC for a pool at 27 Humphrey Street. The Board recommends that any deck lighting be Dark Sky compliant.

Thank you for the opportunity to comment.

Sincerely,

Kimberly L. Shaw

Kimberly L. Shaw
Planning Board Secretary

Cc: Chris Rembold, Assistant Town Manager

Michael Lanoue, Chair
Peter Stanton, Vice Chair
Ruby Chang, M.D.
www.townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Phone: 413-528-0680
Fax: 413-528-3064

TOWN OF GREAT BARRINGTON MASSACHUSETTS

BOARD OF HEALTH

October 4, 2019

Special Permit #898-19: Special Permit application from Green House Partners, LLC, 70 Rowe Road, Great Barrington, to install an in-ground Swimming Pool at 27 Humphrey Street, Great Barrington, in accordance with Sections 3.1.4 G(12) and 10.4 of the Great Barrington Zoning Bylaw.

Dear Selectboard,

The Health Department reviewed Special Permit application #898-19 at the most recent Board of Health meeting on October 3, 2019. The Board of Health recommends that the applicant apply for all necessary permits and comply with all applicable regulations pursuant to 105 CMR 435.00 Minimum Standards for Swimming Pools.

MOTION: Peter Stanton motioned to positively recommend Special Permit #898-19 to the Selectboard.

SECOND: Dr. Ruby Chang

VOTE: 3-0

Sincerely,

Rebecca Jurczyk
GB BOH Agent

Shepley Evans
Conservation Agent

E-mail: conservation@townofgb.org
www.townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619 ext. 122
Fax: (413) 528-2290

TOWN OF GREAT BARRINGTON MASSACHUSETTS

CONSERVATION COMMISSION

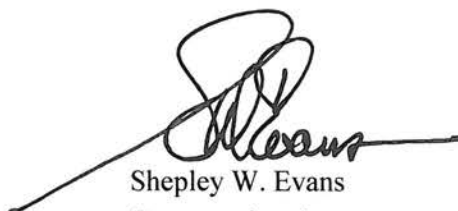
October 2, 2019

The Selectboard
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

Re: SPECIAL PERMIT # 898-19
Application of Green House Partners, LLC for a Special Permit to install an in-ground swimming pool at 27 Humphrey Street, Great Barrington.

At its September 24, 2019 meeting, the Conservation Commission considered the application for a special permit to install a swimming pool on the subject property. A review of the Wetlands Protection Act Regulations 310 CMR 10.58(6) and 10.02(2)(b)2e indicates that installing a pool in a lawn area is considered a minor activity and is not subject to regulation under the Act. The Commission therefore has no jurisdictional issue with the proposed construction of a swimming pool at 27 Humphrey Street. The Commission has no other comment or recommendation to offer at this time.

Respectfully,



Shepley W. Evans
Conservation Agent

CC: Jeffrey Cohen, Conservation Commission Chairman
Chris Rembold, Town Planner

TOWN OF GREAT BARRINGTON
Application for a Special Permit
to the Board of Selectmen or Planning Board

FORM SP-1
REV. 11-2013

TOWN CLERK
GREAT BARRINGTON
AUG 29 2019 AM 11:11

FOR OFFICE USE ONLY

Number Assigned 598-19 Date Received 8/29/19
Special Permit Granting Authority SB
Copy to Recommending Boards 9/4
Advertised 9/6 & 9/13
Public Hearing 10/7/19
Fee: \$150.00 Paid: Yes

APPLICATION FOR SPECIAL
PERMIT UNDER TOWN ZONING
BYLAWS FOR TOWN OF
GREAT BARRINGTON,
MASSACHUSETTS

MAP 20 LOT 8/9 BOOK 2377 PAGE 294 ZONING DISTRICT(S) B-3

Site Address: 23-35 HUMPHREY ST, GB MA 01230

Date of Application 8-28-19

Applicant's name and complete mailing address GREEN HOUSES PARTNERS, LLC
30 ROWE RD, GB MA. 01230

Applicant's phone number (914) 319 3396 Applicant's email address: BOBBYH0USTON
@HOTMAIL.COM

Name and Address of Owner of land exactly as it appears on most recent tax bill:

GREEN HOUSES PARTNERS, LLC.
30 ROWE RD, GREAT BARRINGTON, MA. 01230

I (we) request a Special Permit for: IN-GROUND SWIMMING POOL

Under Section(s) 3.1.4 G (12) and 10.4 of the Great Barrington Zoning Bylaws.

APPLICANTS MUST READ AND COMPLY WITH THE FOLLOWING:

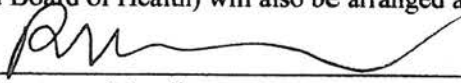
One Signed Original application with each of the items below, as applicable, and fourteen (14) exact copies of the entire application package are to be submitted. Applications must include:

1. Completed application form, including signatures.
2. Brief written description of how the project is in harmony with the Great Barrington Master Plan. (Copies of the Master Plan are available for free download from the Town website. Hard copies can be read at the Clerk's office or the Town libraries.)
3. Site Plan, drawn to scale, applicable to the site and the proposed use of said site for which this special permit is requested.
4. Any other specifications necessary to further describe the site or proposed use for which a special permit is requested. At least one copy of any maps being submitted shall be no larger than 11" X 17". Plans should show all existing and proposed structures, property lines and dimensions, driveways, walkways and parking areas. All proposed landscaping, parking, loading, and similar improvements must be in compliance with the applicable sections of the Zoning Bylaw.
5. Certified list of abutters within 300' on the Assessors Maps to the subject property, including map and lot number. List must be obtained from the Assessors' Office.

- 6. Zoning Map designating the zoning district(s) and location for the area for which a special permit is requested, plus a USGS map enlarged and showing the site location within the Town.
- 7. Drainage Plan indicating the destination of all runoff from the property. In the event of substantial increase in impervious surfaces, the SPGA may require calculations or expert analysis of the plan.
- 8. Landscaping Plan drawn to scale and showing existing and proposed landscaping.
- 9. If applicant and owner are different, a letter signed by the owner of the property authorizing the applicant to apply for the special permit.

SPECIFICS:

- 1. All site plans and specifications must be signed and dated by the preparer.
- 2. ALL OWNERS of property must also sign the application.
- 3. A copy of special permit procedures is available upon request.
- 4. Fee for application is \$150.00 to cover the cost of the public hearing notices in the newspaper and notification to parties in interest. If the cost exceeds \$150.00, the applicant shall pay the balance due upon notification from the Granting Authority.
- 5. Once all the necessary papers, maps, etc. are compiled into the required Original and Fourteen sets, call the Town Planner's office at 413-528-1619 ext. 7 to arrange an appointment to file your application. The application will be reviewed for completeness and a date for a public hearing before the Board of Selectmen or Planning Board will be scheduled. Meetings of recommending boards (e.g. Planning Board, Conservation Commission and Board of Health) will also be arranged at this time.



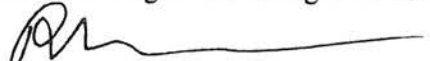
Signature of Applicant

Signature of Co-Applicant (e.g. Property Owner, if different)

PLEASE READ AND SIGN BELOW

ALL COSTS INCURRED BY THE TOWN FOR THE EMPLOYMENT OF EXPERTS OR CONSULTANTS REQUIRED BY ANY TOWN BOARD, AND APPROVED BY THE BOARD OF SELECTMEN, FOR THE PURPOSE OF ANALYZING OR EVALUATING ANY PROJECT THAT IS A SUBJECT OF A SPECIAL PERMIT APPLICATION SHALL BE ASSESSED TO THE APPLICANT AND SHALL CONSTITUTE PART OF THE APPLICATION FEE. A COPY OF THIS REGULATION SHALL BE PROVIDED TO THE APPLICANT IF REQUESTED.

I have read the above regulation and agree to be bound by it.

Signature  _____

Signature of Co-Applicant (e.g. Property Owner) _____

Date _____

**GREEN HOUSES PARTNERS
27 HUMPHREY ST
GT BARRINGTON MA**

August 28, 2019

TO: Select Board of Gt Barrington

RE: Special Permit Application

Green Houses Partners are applying for a Special Permit to build an in-ground liner swimming pool as a common amenity to the newly completed redevelopment project at 23-35 Humphrey St, Gt Barrington, "The Green Houses."

The pool is intended as an exercise and visual asset, in a common space between the new homes at 23 and 25 Humphrey. The contractor is Imperial Pools from Pittsfield, Keith LaFrance owner. The pool will be 42' x 16' and 6' deep at its deepest. It will comply to all applicable codes.

We feel this amenity would be an asset to the project, which has been completed in full compliance with Zoning, Planning, ConCom and GB Master Plan.

Thank you for your consideration.

Sincerely,



Bobby Houston Beusman



Eric Shamie

Bruce Firger, Assessor
John Katz, Assessor

Shaun McHugh, Principal Assessor
E-mail: smchugh@townofgb.org

Carol Strommer
Administrative Assessor
E-mail: cstrommer@townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-2220 x 5
Fax: (413) 528-1026

TOWN OF GREAT BARRINGTON MASSACHUSETTS

August 27, 2019

ASSESSORS' OFFICE

ABUTTERS TO PROPERTY OF: GREEN HOUSES PARTNERS LLC

23, 25, 27, 29 Humphrey Street, Map 20 Lot 8, Book 2377 Page 294
35 Humphrey Street, Map 20 Lot 9, Book 2538 Page 205

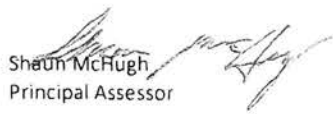
<u>MAP</u>	<u>LOT</u>	<u>ABUTTER</u>
20	19	Kenneth N. Arce, 18 Humphrey St., Gt. Barrington, MA 01230-1428
20	26	Edward P. & Linda M. Pruhenski, 12 Humphrey St., Gt. Barrington, MA 01230-1436
20	12,8A	Thomas A. Cavanaugh, Trustee, Mahaiwe Nominee Realty Trust, 1 Pine St., Gt. Barrington, MA 01230-1415
20	12A	Kenneth R. Schumacher & Janice Seiger-Schumacher, 160 Castle St., Gt. Barrington, MA 01230-1541
20	28	Edward J. & Elizabeth A. Domaney, 327 State Rd., Gt. Barrington, MA 01230-1496
20	18	Helmuth K. & Ruth Ruthel, 22 Humphrey St., Gt. Barrington, MA 01230-1428
20	10,11	Alton E. Stalker, 39 Humphrey St., Gt. Bqrrington, MA 01230-1427
20	24	Werner Georg Kunz-Cho & Mimi Y. Cho-Kunz, PO Box 273, Gt. Barrington, MA 01230-0273
20	20	James H. Jennison, 40 Humphrey St., Gt. Barrington, MA 01230-1428
20	3,4	Carolyn Dunn, 194 East St., Gt. Barrington, MA 01230-1435
20	7	James G. & Kristine Stockfisch, 204 East St., Gt. Barrington, MA 01230-1435
20	33	Ann E. Merz Estate of, 49 Pearl St., Gt. Barrington, MA 01230-1242
20	38A	Juliet Bergan Emery, Trustee, 211 East St, Gt. Barrington, MA 01230-1434
20	39	Andrew G. Pramschufel, Trustee, 7050 Monza Place, Rancho Cucamongo, CA 91701-8531
20	40	Paul S. & Melissa A. P. Greene, Zoe Greene & Zachary Greene, PO Box 492, West Stockbridge, MA 01266-0492
20	36	Daniel R. Hemling & Kathleen M. Shelby, 203 East St., Gt. Barrington, MA 01230-1434
20	22	Dorothy J. Capasse, PO Box 1263, Sheffield, MA 01257-1263
20	38	Daniel J. Maloney & Robert A. Maloney, 215 East St., Gt. Barrington, MA 01230-1434
20	1	Peter R. & Annette S. Habicht,, Trustees, Falcon Residences Nominee Trust, 1985 South Undermountain Rd., Sheffield, MA 01257-9643
20	25	Michael R. & Stacy L. Bertelli, 238 East St., Gt. Barrington, MA 01230-1436
20	35	Anne Bei Reiss, Trustee, Anne Bei Reiss Revocable Trust, 199 East St., Gt. Barrington, MA 01230-1434
20	23	Justin J. & Krista J. Haley & Sandra Haley, 232 East St., Gt. Barrington, MA 01230-1436
20	32	185 East Street 01230 LLC, 101 Green River Rd., Gt. Barrington, MA 01230-8922
14	281	Joan I. Giummo, 176 East St., Gt. Barrington, MA 01230-1435
14	307	Mark Fay, PO Box 543, Sandisfield, MA 01255-0543
14	280	David P. Root, 174 East St., Gt. Barrington, MA 01230-1435
20	13	Bridge-Building LLC, 113 Bridge St., Gt. Barrington, MA 01230-1338
20	14	Evelyn Faye West, 115 1/2 Bridge St., Gt. Barrington, MA 01230-1338
20	15	Lisa Ann Lindel & Kent Daniel Milligan, 115 Bridge St., Gt. Barrington, MA 012301338
20	16	Glen A. & Anne E. Jost, 117 Bridge St., Gt. Barrington, MA 01230-1338
20	17	Benjamin E. Wohlfert, PO Box 1347, North Canaan, Ct 06018-1347
20	29	Laura A. Spucches, 128 Gt. Barrington Rd., West Stockbridge, MA 01266-9209
20	30	H & H Capital Management, PO Box 863, Gt. Barrington, MA 01230-0863
20	31	Mimi Perry, 143 Bridge St., Gt. Barrington, MA 01230-1339
19	122C,122	James M. Cavanaugh, Trustee, M & H Realty Trust of Great Barrington, PO Box 548, Gt. Barrington, MA 01230-0548
19	123,122B,122A	Berkshire Corporation, 21 River St., Gt. Barrington, MA 01230-1330
19	122D	Enfield Realty Holdings LLC, 28 Church St., Gt. Barrington, MA 01230-1315
19	139	79 Bridge Street Realty LLC, 247 Stockbridge Rd., Gt. Barrington, MA 01230-1297
14	306	Edwin E. Markham III, 179 East St., Gt. Barrington, MA 01230-1464
14	305	Eugene Gollogly, 177 East St., Gt. Barrington, MA 01230-1464
14	256	Andrea Krest, 55 Pleasant St., Gt. Barrington, MA 01230-1343
14	260	22 River LLC, 304 Park St. North, Gt. Barrington, MA 01230-11473

Green Houses Partners LLC, 20/8 & 9

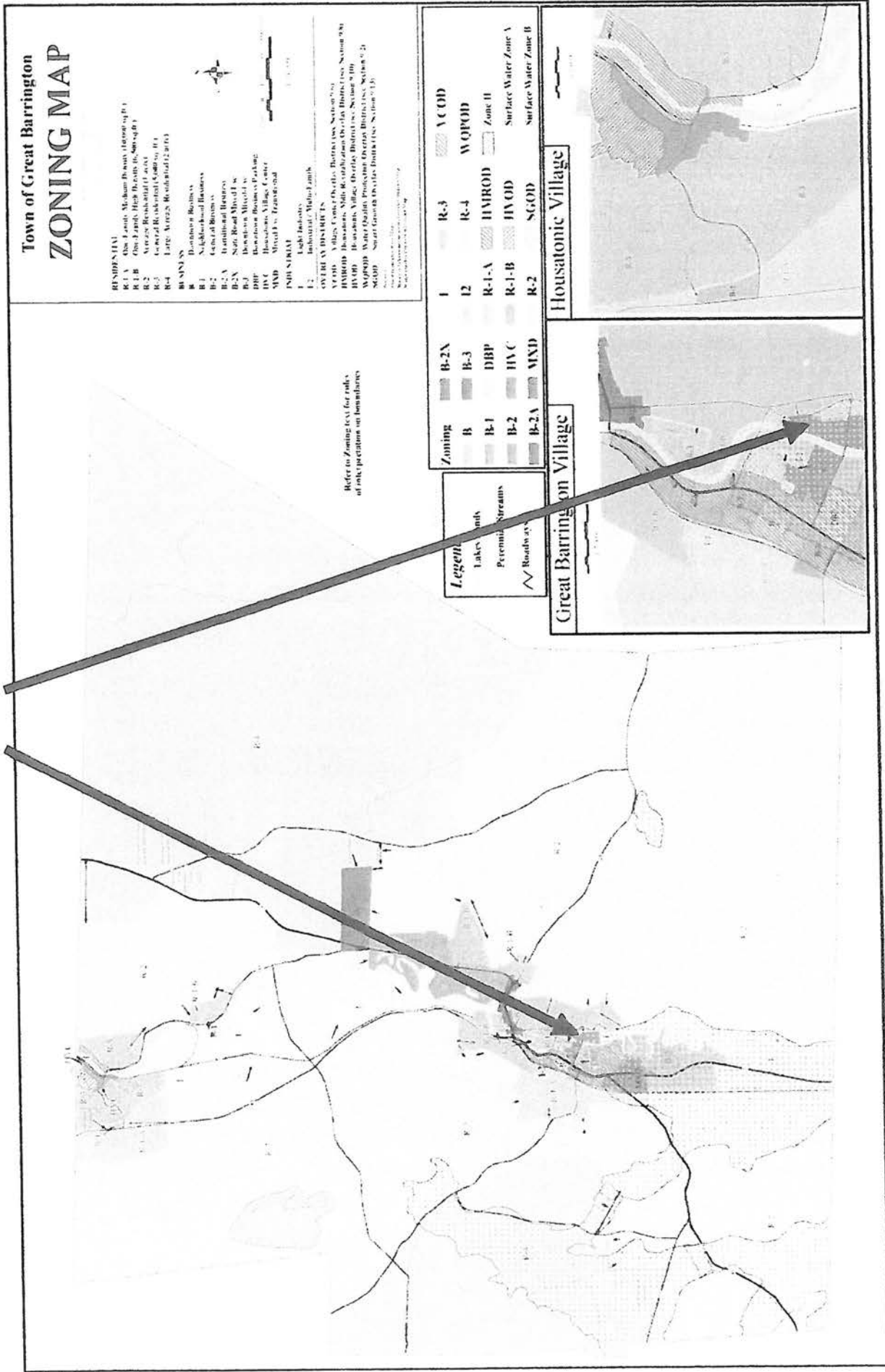
14	255	Ranakdevi & John Londoner, 185 East 85 th St. #4K, New York, NY 10028-8069
14	254	Margaret Parish, PO Box 273, Stockbridge, MA 01262-0273
14	259	Michael Goldberg & Melissa Raulson, 225 East 49 th St., New York, NY 10007-1536
20	37A	Gary J. & Linda R. Hutton, 20 Quarry St., Gt. Barrington, MA 01230-1422
20	38B,39A	Quarry Street Management Co. LLC, 302 Loudon Rd., Loudonville, NY 12211-2019
20	34,37	Keith Lowey, Trustee, Sixteen Quarry Street Realty Trust, 16 Quarry St., Gt. Barrington, MA 01230-1422
14	308	Judith A. Arienti, 10 Quarry St., Gt. Barrington, MA 01230-1422
14	309	Cynthia J. Guidi, 12 Quarry St., Gt. Barrington, MA 01230-1422
14	279A	Matthew J. & Julie C. Duffin, 150 East St., Gt. Barrington, MA 01230-1435
20	27	Timothy David Siok & Mariana D. Vivas Siok, 23 Park Court #87, Verona, NJ 07044-2453
20	44	Florence Anne Sasso, 231 East St., Gt. Barrington, MA 01230-1434

The above list of abutters to the subject property is correct according to the latest records of this office.

Sincerely,


Shaun McHugh
Principal Assessor

HUMPHREY STREET, GREAT BARRINGTON



Town of Great Barrington
ZONING MAP

- RESIDENTIAL**
 R-1A One-Family Medium-Density (Minimum 10' x 10')

- R-1B One-Family High-Density (Minimum 8' x 8')

- R-2 Village Residential (Minimum 8' x 8')

- R-3 General Residential (Minimum 15' x 10')

- R-4 Large Lots Residential (Minimum 12' x 10')

- COMMERCIAL**
 C-1 Neighborhood Business

- C-2 General Business

- C-3 Traditional Business

- C-4 State Road Village (Minimum 15' x 10')

- C-5 Downtown Village (Minimum 15' x 10')

- DBP Downtown Business Parking

- HVC Housatonic Village Center

- MXD Mixed Use Traditional

- INDUSTRIAL**
 I-1 Light Industry

- I-2 Industrial Medium-Density

- OVERLAY DISTRICTS**
 VCOD Village Center Overlay District (See Section 9.2)

- HVROD Housatonic Village Overlay District (See Section 9.1)

- HVOD Housatonic Village Overlay District (See Section 9.1)

- WQPOD Water Quality Protection Overlay District (See Section 9.3)

- SCOD Smart Growth Overlay District (See Section 9.3)

- Legend**
 Lakes
 Perennial Streams
 Roadways

- Zoning**
 B-2A
 B-3
 DBP
 HVC
 MXD

- Zoning**
 I
 R-3
 R-4
 HVROD
 HVOD
 SCOD

- Zoning**
 VCOD
 WQPOD
 Zone II
 Surface Water Zone A
 Surface Water Zone B

Refer to Zoning Act for rules of interpretation on boundaries

Map Date: 12/15/2010
 Map Scale: 1" = 100'

Map Author: Planning Board
 Map Reviewer: Planning Board

Map Date: 12/15/2010
 Map Scale: 1" = 100'

Map Author: Planning Board
 Map Reviewer: Planning Board

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Great Barrington Village

Housatonic Village

Great Barrington Village

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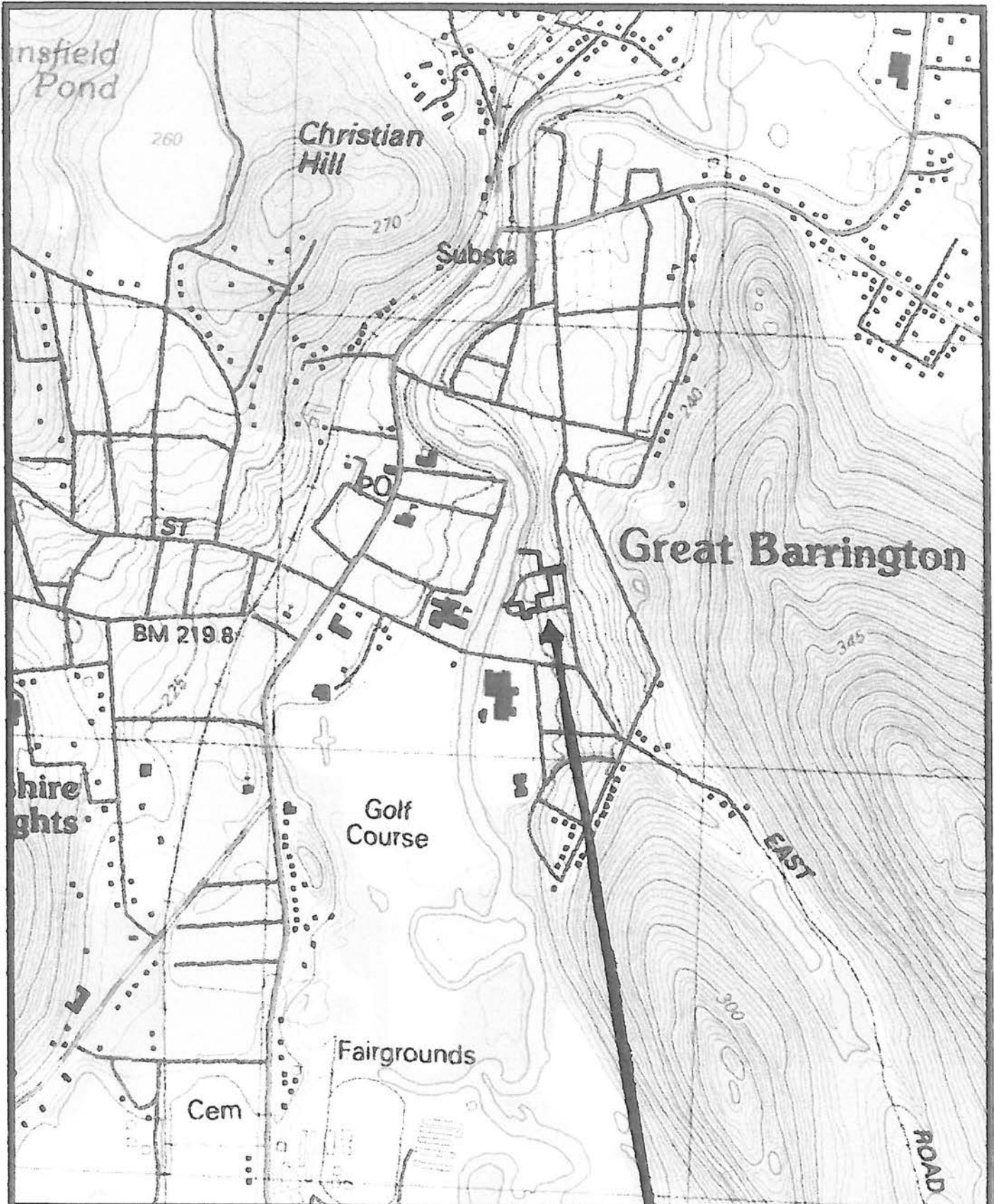
Great Barrington Village

Housatonic Village

Great Barrington Village

Housatonic Village

Great Barrington Village



PREPARED FOR:
GREEN HOUSES PARTNERS, LLC
 U.S.G.S TOPOGRAPHIC MAP
 SCALE 1" = 1000 FT.

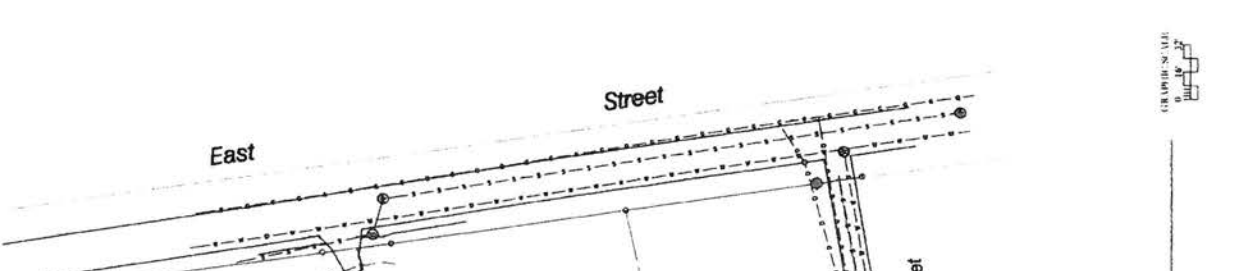
BY: **ACCORD**
 ENGINEERING & SURVEYING, LLC
 (413) 528-8999
 FEBRUARY 28, 2018

	GREEN HOUSES 27 Humfrey Street Great Barrington, MA	PLANTING PLAN 	DATE REVISION #1 	L-5 <small>Green House</small>
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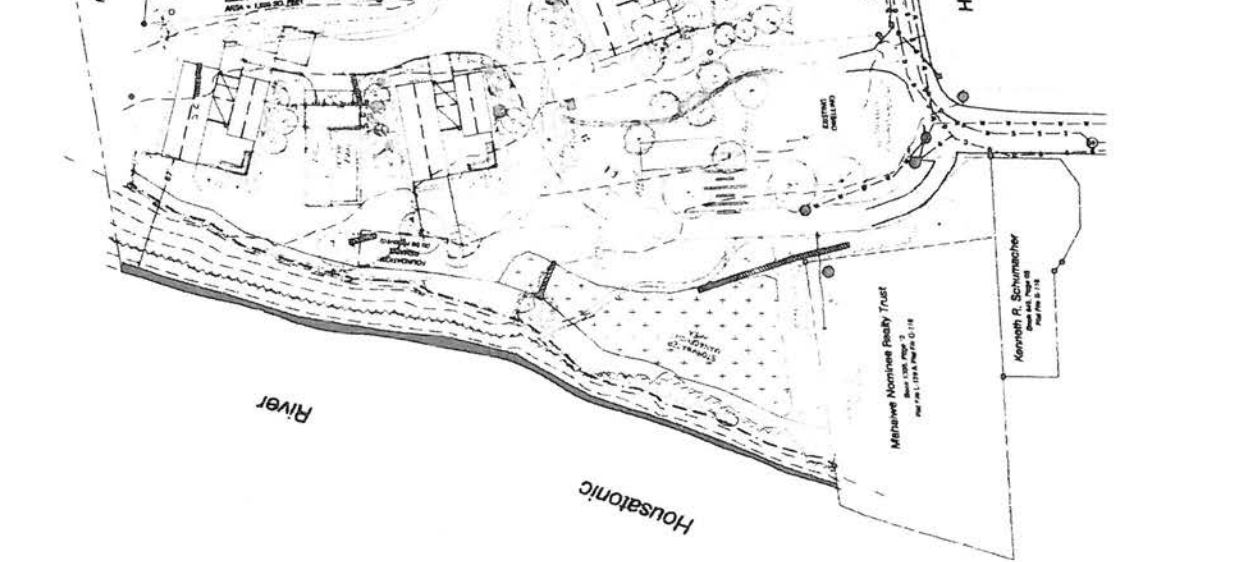
SYMBOL	DESCRIPTION	DRAWING STATUS
U.P.	Utility In Field	<input type="checkbox"/> INFORMATION DWGS. (NOT FOR CONSTRUCTION)
HE	Flow Hole	<input type="checkbox"/> PRELIMINARY DWGS. (NOT FOR CONSTRUCTION)
(N)	New	<input type="checkbox"/> DESIGN DEVELOP. DWGS. (NOT FOR CONSTRUCTION)
(C)	Existing	<input type="checkbox"/> CHECK SET (NOT FOR CONSTRUCTION)
EM	Existing Electric Meter	<input type="checkbox"/> PLAN CHECK DWGS.
WM	Existing Water Meter	<input type="checkbox"/> BID SET DWGS.
GM	Existing Gas Meter	<input type="checkbox"/> CONSTRUCTION DOCUMENTS
		<input type="checkbox"/> OTHER _____

DRAWING STATUS

INFORMATION DWGS. (NOT FOR CONSTRUCTION)
 PRELIMINARY DWGS. (NOT FOR CONSTRUCTION)
 DESIGN DEVELOP. DWGS. (NOT FOR CONSTRUCTION)
 CHECK SET (NOT FOR CONSTRUCTION)
 PLAN CHECK DWGS.
 BID SET DWGS.
 CONSTRUCTION DOCUMENTS
 OTHER _____



PLANTING PLAN
SCALE: 1/32" = 1'-0"



	GREEN HOUSES 27 Humfrey Street Great Barrington, MA	PLANTING PLAN 	DATE REVISION #1 	L-5 <small>Green House</small>
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MASS. STATE PLANE
COORDINATE SYSTEM

DATE: 08/10/16
 DRAWN BY: S. P. P. P.
 CHECKED BY: A. J. J. J.
 DATE: 08/10/16
 DRAWN BY: S. P. P. P.
 CHECKED BY: A. J. J. J.
 DATE: 08/10/16
 DRAWN BY: S. P. P. P.
 CHECKED BY: A. J. J. J.

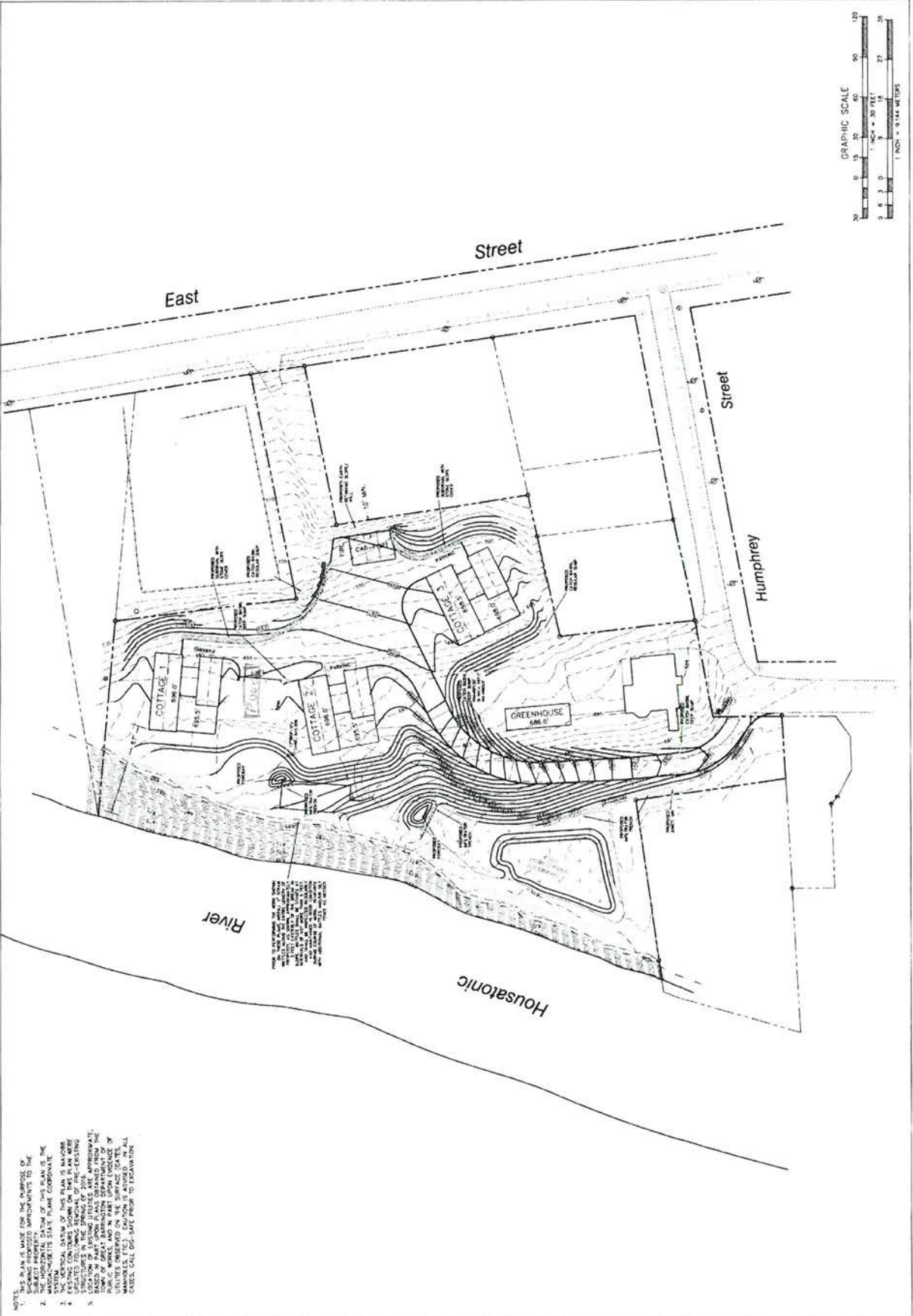
CONTRACT NO. ACCORD
 PROJECT NO. 16-001
 PROJECT NAME: GREENHOUSES
 PROJECT ADDRESS: 27 HUMPHREY STREET
 PROJECT CITY: GREAT BARRINGTON, MA 01830
 PROJECT STATE: MASSACHUSETTS
 PROJECT COUNTY: HAMPSHIRE

AF architecture
 Greg Foley, P.E.
 413.429.5322
 gfoley@afarc.com
 www.afarc.com

GREENHOUSES
 RESIDENTIAL DEVELOPMENT
 27 Humphrey Street
 Great Barrington, MA

SKETCH
 GRADING AND
 DRAINAGE PLAN

SKETCH NUMBER
C 04.01



- NOTES:
1. THIS PLAN IS A PART OF THE RECORDS OF THE SUBJECT PROPERTY.
 2. THE VERTICAL DATUM OF THIS PLAN IS THE MASSACHUSETTS STATE PLANE COORDINATE.
 3. THE VERTICAL DATUM OF THIS PLAN IS NAVD83.
 4. THE PLAN IS BASED ON A SURVEY OF THE PROPERTY CONDUCTED BY THE ARCHITECT IN THE SPRING OF 2016.
 5. THE PLAN IS BASED ON A SURVEY OF THE PROPERTY CONDUCTED BY THE ARCHITECT IN THE SPRING OF 2016.

PROJ. NO. 16-001
 PROJECT NAME: GREENHOUSES
 PROJECT ADDRESS: 27 HUMPHREY STREET
 PROJECT CITY: GREAT BARRINGTON, MA 01830
 PROJECT STATE: MASSACHUSETTS
 PROJECT COUNTY: HAMPSHIRE

TOWN OF GREAT BARRINGTON

NOTICE OF PUBLIC HEARING

The Great Barrington Selectboard and the Tree Warden will hold a public hearing on Monday October 7th, 2019 at 7:00 P.M. at the Town Hall, 334 Main Street, Great Barrington, MA to consider removing 3 public shade trees at 334 Main Street on Town owned property shown on Assessor's Map 19, Lot 91 in Great Barrington. The trees scheduled for removal are a 10 inch \pm diameter Norway Maple, a 15 inch \pm Weeping Cherry, and a multi stem Locust.

Michael Peretti
Tree Warden

Please publish – September 20 and 27, 2019



TOWN OF GREAT BARRINGTON
MASSACHUSETTS

DEPARTMENT OF PUBLIC WORKS

EXECUTIVE SUMMARY

TITLE: Public Hearing on Tree Removal for Giggle Park Expansion


BACKGROUND: In 2018 The Parks Commission approved a 62 by 30 foot expansion of Giggle Park in order to create enough space for the addition of a swing set. The expansion will require the removal of 3 trees in order make enough room for playground area to meet code and for the continued usage of other events. The Tree Warden's report on the trees states that the 3 trees are not significant park trees and have very little aesthetic appeal.

FISCAL IMPACT: None

RECOMMENDATION: That the Selectboard vote to remove the three trees under the condition that four new shade trees be planted in the park elsewhere.

PREPARED AND REVIEWED BY: 
Sean VanDeusen, DPW Superintendent

DATE: 10/4/19

APPROVED: 
Mark Pruhlenki, Town Manager

DATE: 10/4/19

Sean Van Deusen

From: Sean Van Deusen
Sent: Friday, October 4, 2019 11:00 AM
To: Mark Pruhenski
Cc: scbannon@gmail.com
Subject: FW: Town Hall trees for removal per public hearing
Attachments: DSCN5070 (Large).JPG; DSCN5072 (Large).JPG; DSCN5073 (Large).JPG; DSCN5071 (Large).JPG

Please see below email from the tree warden.-Sean

Subject: Town Hall trees for removal per public hearing

- 1- Norway Maple ,listed as an invasive species, v crotch stem , prefer a single stem for strength
 - 2- Multi stem Locust , best guest it was not planted, "weed tree", may of sprouted from an older tree removed long age, it's not the right tree for the center of the park
 - 3- Weeping cherry, close to playground , has some dieback , not a very nice specimen, needed pruning a long time ago to maintain a weeping appearance.
- All 3 trees are not significant park trees and have very little aesthetic appeal.

Michael Peretti







Name	Address	City, State, Zip
Canaan Mountain LLC	PO Box 451	Great Barrington, MA 01230-0451
312 Main Street Partnership, c/o Louis Oggiani	312 Main Street, Suite 3	Great Barrington, MA 01230-1879
John C. & Lise E. Bouillon, Trustees, Bouillon Family Trust	89 Christian Hill Road	Great Barrington, MA 01230-1110
Ware Block LLC	670 Boardman Street	Sheffield, MA 01257-9516
Trading Moon LLC	8 Railroad Street	Great Barrington, MA 01230-1521
Mickey & Jac LLC	85 Main Street	Great Barrington, MA 01230-1307
Jean P. Andrews	PO Box 419	Great Barrington, MA 01230-0419

Mailed 1/20/19
 on 1/20/19
 J.P.

TOWN OF GREAT BARRINGTON

NOTICE OF PUBLIC HEARING

The Selectboard will hold a public hearing on Monday, October 7, 2019 at 7:00 PM at the Town Hall, 334 Main Street, Great Barrington, MA 01230 to act on the application of Mooncloud LLC dba Mooncloud, William John Paul, Manager for a new Common Victualler Restaurant All Alcoholic Liquor License with seasonal outdoor patio seating at 47 Railroad Street, Unit 1A, Great Barrington, MA 01230.

Stephen Bannon
Chair

PLEASE PUBLISH September 27 and October 4, 2019.

PUBLIC HEARING:

The Selectboard will hold a public hearing on Monday, October 7, 2019 at 7:00 PM at the Town Hall, 334 Main Street, Great Barrington, MA 01230 to act on the application of Mooncloud LLC dba Mooncloud, William John Paul, Manager for a new Common Victualler Restaurant All Alcoholic Liquor License with seasonal outdoor patio seating at 47 Railroad Street, Unit 1A, Great Barrington, MA 01230.

- a. **Board** - **Open Public Hearing**
- b. **Applicant/Attorney** - **Explanation of Project**
- c. **Board** - **Motion to Close Public Hearing**
- d. **Board** - **Motion re: Findings**

FINDINGS OF FACT:

Completed application was submitted to the Selectboard on September 13, 2019.

Public Hearing was properly advertised in the Berkshire Record for two (2) consecutive weeks on September 27 and October 4, 2019. Notification was sent to abutters by Certified Mail.

Public Hearing is scheduled for October 7, 2019 @ 7:00 PM at Town Hall, 334 Main Street, Great Barrington, MA 01230.

No impediments were disclosed as to the approval or denial of a new Common Victualler Restaurant All Alcoholic Liquor License with outdoor seating.

- e. **Board** - **Motion re: Approval/Denial/Table**

Motion: _____ Move to approve the Findings of Fact on the application of Mooncloud LLC dba Mooncloud, William John Paul, Manager for a new Common Victualler Restaurant All Alcoholic Liquor License with seasonal outdoor patio seating at 47 Railroad Street, Unit 1A, Great Barrington, MA 01230 and with the findings that the benefits of the proposal outweigh any possible detrimental impacts.

Second:

Vote:



The Commonwealth of Massachusetts
Alcoholic Beverages Control Commission
 95 Fourth Street, Suite 3, Chelsea, MA 02150-2358
 www.mass.gov/abcc

**RETAIL ALCOHOLIC BEVERAGES LICENSE APPLICATION
 MONETARY TRANSMITTAL FORM**

APPLICATION FOR A NEW LICENSE

APPLICATION SHOULD BE COMPLETED ON-LINE, PRINTED, SIGNED, AND SUBMITTED TO THE LOCAL LICENSING AUTHORITY.

ECRT CODE: RETA

Please make \$200.00 payment here: [ABCC PAYMENT WEBSITE](#)

PAYMENT MUST DENOTE THE NAME OF THE LICENSEE CORPORATION, LLC, PARTNERSHIP, OR INDIVIDUAL AND INCLUDE THE PAYMENT RECEIPT

ABCC LICENSE NUMBER (IF AN EXISTING LICENSEE, CAN BE OBTAINED FROM THE CITY)

ENTITY/ LICENSEE NAME

ADDRESS

CITY/TOWN

STATE

ZIP CODE

For the following transactions (Check all that apply):

- | | | | |
|--|---|---|---|
| <input checked="" type="checkbox"/> New License | <input type="checkbox"/> Change of Location | <input type="checkbox"/> Change of Class (i.e. Annual / Seasonal) | <input type="checkbox"/> Change Corporate Structure (i.e. Corp / LLC) |
| <input type="checkbox"/> Transfer of License | <input type="checkbox"/> Alteration of Licensed Premises | <input type="checkbox"/> Change of License Type (i.e. club / restaurant) | <input type="checkbox"/> Pledge of Collateral (i.e. License/Stock) |
| <input type="checkbox"/> Change of Manager | <input type="checkbox"/> Change Corporate Name | <input type="checkbox"/> Change of Category (i.e. All Alcohol/Wine, Malt) | <input type="checkbox"/> Management/Operating Agreement |
| <input type="checkbox"/> Change of Officers/
Directors/LLC Managers | <input type="checkbox"/> Change of Ownership Interest
(LLC Members/ LLP Partners,
Trustees) | <input type="checkbox"/> Issuance/Transfer of Stock/New Stockholder | <input type="checkbox"/> Change of Hours |
| | <input type="checkbox"/> Other <input type="text"/> | | <input type="checkbox"/> Change of DBA |

THE LOCAL LICENSING AUTHORITY MUST MAIL THIS TRANSMITTAL FORM ALONG WITH COMPLETED APPLICATION, AND SUPPORTING DOCUMENTS TO:

Alcoholic Beverages Control Commission
 95 Fourth Street, Suite 3
 Chelsea, MA 02150-2358



The Commonwealth of Massachusetts
Alcoholic Beverages Control Commission
95 Fourth Street, Suite 3, Chelsea, MA 02150-2358
www.mass.gov/abcc

APPLICATION FOR A NEW LICENSE

Municipality

1. LICENSE CLASSIFICATION INFORMATION

ON/OFF-PREMISES	TYPE	CATEGORY	CLASS
<input type="text" value="On-Premises-12"/>	<input type="text" value="§12 Restaurant"/>	<input type="text" value="All Alcoholic Beverages"/>	<input type="text" value="Annual"/>

Please provide a narrative overview of the transaction(s) being applied for. On-premises applicants should also provide a description of the intended theme or concept of the business operation. Attach additional pages, if necessary.

Mooncloud will be a cocktail bar, serving locally grown and preserved vegetables, meats and cheeses. There will be seasonal outdoor seating. There will be 22 indoor seats and 12 outdoor seats.

Is this license application pursuant to special legislation? Yes No Chapter Acts of

2. BUSINESS ENTITY INFORMATION

The entity that will be issued the license and have operational control of the premises.

Entity Name FEIN

DBA Manager of Record

Street Address

Phone Email

Alternative Phone Website

3. DESCRIPTION OF PREMISES

Please provide a complete description of the premises to be licensed, including the number of floors, number of rooms on each floor, any outdoor areas to be included in the licensed area, and total square footage. You must also submit a floor plan.

Ground floor consisting of 900 square feet including a bar area, two bathrooms and a hallway. Alcohol shall be stored in the locked cabinets under the bar. Basement consisting of 200 square feet shall house additional locked storage for alcohol. There will be an outdoor seasonal patio being approximately 175 square feet. There is 1 exit in the front exiting to Railroad Street.

Total Square Footage: <input type="text" value="1,275"/>	Number of Entrances: <input type="text" value="1"/>	Seating Capacity: <input type="text" value="In = 22, Out = 12"/>
Number of Floors: <input type="text" value="1"/>	Number of Exits: <input type="text" value="1"/>	Occupancy Number: <input type="text" value="49"/>

4. APPLICATION CONTACT

The application contact is the person whom the licensing authorities should contact regarding this application.

Name: Phone:

Title: Email:

APPLICANT'S STATEMENT

I, William John Paul the: sole proprietor; partner; corporate principal; LLC/LLP manager
Authorized Signatory

of Mooncloud, LLC
Name of the Entity/Corporation

hereby submit this application (hereinafter the "Application"), to the local licensing authority (the "LLA") and the Alcoholic Beverages Control Commission (the "ABCC" and together with the LLA collectively the "Licensing Authorities") for approval.

I do hereby declare under the pains and penalties of perjury that I have personal knowledge of the information submitted in the Application, and as such affirm that all statements and representations therein are true to the best of my knowledge and belief. I further submit the following to be true and accurate:

- (1) I understand that each representation in this Application is material to the Licensing Authorities' decision on the Application and that the Licensing Authorities will rely on each and every answer in the Application and accompanying documents in reaching its decision;
- (2) I state that the location and description of the proposed licensed premises are in compliance with state and local laws and regulations;
- (3) I understand that while the Application is pending, I must notify the Licensing Authorities of any change in the information submitted therein. I understand that failure to give such notice to the Licensing Authorities may result in disapproval of the Application;
- (4) I understand that upon approval of the Application, I must notify the Licensing Authorities of any change in the ownership as approved by the Licensing Authorities. I understand that failure to give such notice to the Licensing Authorities may result in sanctions including revocation of any license for which this Application is submitted;
- (5) I understand that the licensee will be bound by the statements and representations made in the Application, including, but not limited to the identity of persons with an ownership or financial interest in the license;
- (6) I understand that all statements and representations made become conditions of the license;
- (7) I understand that any physical alterations to or changes to the size of the area used for the sale, delivery, storage, or consumption of alcoholic beverages, must be reported to the Licensing Authorities and may require the prior approval of the Licensing Authorities;
- (8) I understand that the licensee's failure to operate the licensed premises in accordance with the statements and representations made in the Application may result in sanctions, including the revocation of any license for which the Application was submitted; and
- (9) I understand that any false statement or misrepresentation will constitute cause for disapproval of the Application or sanctions including revocation of any license for which this Application is submitted.
- (10) I confirm that the applicant corporation and each individual listed in the ownership section of the application is in good standing with the Massachusetts Department of Revenue and has complied with all laws of the Commonwealth relating to taxes, reporting of employees and contractors, and withholding and remitting of child support.

Signature: 

Date: 9/13/19

Title: Manager



THE COMMONWEALTH OF MASSACHUSETTS
TOWN OF GREAT BARRINGTON
BERKSHIRE COUNTY
BUSINESS CERTIFICATE

2019

Certificate Number: 110-19

Date: September 20, 2019

Personally appeared before me,

William John Paul

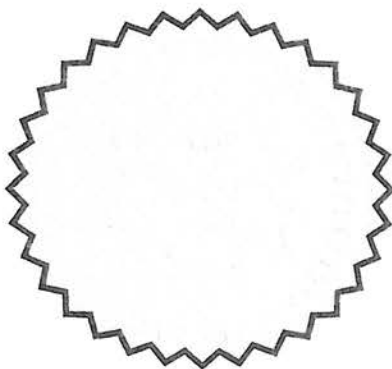
DBA: Mooncloud

And made an oath that the foregoing statement is true:

- A certificate issued in accordance with this section shall be in force and effect for four years from date of issue and shall be renewed each four years thereafter so long as such business shall be conducted and shall lapse and be void inless so renewed.

Expiration Date: September 20, 2023

Jennifer L. Messina
TOWN CLERK (or ASSISTANT)



The Commonwealth of Massachusetts
Town of Great Barrington
DBA

No. 110-19

New ✱
Renew ◇

BUSINESS CERTIFICATE

In conformity with the provisions of Chapter one hundred and ten, Section five of the General Laws, as amended, the undersigned hereby declare(s) that a business under the title of


Mooncloud

is conducted at 47 Railroad Street, Unit 1A, Great Barrington, MA
for the purpose of (type of business) Restaurant and bar.
in Great Barrington, by the following person(s).

Please be advised that the attached Business Certificate is only valid if the business has followed the Town of Great Barrington Zoning Bylaws. It is the responsibility of the business owner to be sure that the business meets all the qualifications as required by law.

It is the responsibility of the person who has filed such a certificate, upon his discontinuing such business or changing location, to file a statement in the office of the Town Clerk and pay the fee per Mass General Law, C. 110, §5.

I have read the above statement and understand the terms of the Business Certificate provided to me by the Town clerk's Office.

FULL NAME	Residence Street Address and Mailing Address
<u>Mooncloud, LLC</u> _____ _____	<u>47 Railroad Street, Unit 1A</u> <u>Great Barrington, MA 01230</u> _____
SIGNED:  _____ <u>William John Paul, Manager</u>	Phone#: <u>413-446-3222</u> _____ Federal Tax ID#: <u>84-2780071</u> _____



**The Commonwealth of Massachusetts
William Francis Galvin**

Minimum Fee: \$500.00

Secretary of the Commonwealth, Corporations Division
One Ashburton Place, 17th floor
Boston, MA 02108-1512
Telephone: (617) 727-9640

Certificate of Organization

(General Laws, Chapter)

Identification Number: 001396747

1. The exact name of the limited liability company is: MOONCLOUD, LLC

2a. Location of its principal office:

No. and Street: 47 RAILROAD STREET
UNIT 1A

City or Town: GREAT BARRINGTON State: MA Zip: 01230 Country: USA

2b. Street address of the office in the Commonwealth at which the records will be maintained:

No. and Street: 47 RAILROAD STREET
UNIT 1A

City or Town: GREAT BARRINGTON State: MA Zip: 01230 Country: USA

3. The general character of business, and if the limited liability company is organized to render professional service, the service to be rendered:

TO OWN AND OPERATE A RESTAURANT AND BAR AND ALSO TO TAKE ANY OTHER ACTION AND ENGAGE IN ANY OTHER BUSINESS NOT PROHIBITED UNDER THE ACT OR OTHER APPLICABLE LAW.

4. The latest date of dissolution, if specified:

5. Name and address of the Resident Agent:

Name: WILLIAM JOHN PAUL

No. and Street: 43 LAKESIDE DRIVE

City or Town: NORTH EGREMONT State: MA Zip: 01230 Country: USA

I, WILLIAM JOHN PAUL resident agent of the above limited liability company, consent to my appointment as the resident agent of the above limited liability company pursuant to G. L. Chapter 156C Section 12.

6. The name and business address of each manager, if any:

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
MANAGER	WILLIAM JOHN PAUL	43 LAKESIDE DRIVE NORTH EGREMONT, MA 01230 US
MANAGER	EMILY RACHEL IRWIN	231 HARTSVILLE NEW MARLBORO ROAD NEW MARLBOROUGH, MA 01230 USA
MANAGER	JOSHUA TRACY IRWIN	231 HARTSVILLE NEW MARLBORO ROAD NEW MARLBOROUGH, MA 01230 US

7. The name and business address of the person(s) in addition to the manager(s), authorized to execute documents to be filed with the Corporations Division, and at least one person shall be named if there are no managers.

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code

8. The name and business address of the person(s) authorized to execute, acknowledge, deliver and record any recordable instrument purporting to affect an interest in real property:

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code
REAL PROPERTY	JOSHUA TRACY IRWIN	231 HARTSVILLE NEW MARLBORO ROAD NEW MARLBOROUGH, MA 01230 US
REAL PROPERTY	EMILY RACHEL IRWIN	231 HARTSVILLE NEW MARLBORO ROAD NEW MARLBOROUGH, MA 01230 US
REAL PROPERTY	WILLIAM JOHN PAUL	43 LAKESIDE DRIVE NORTH EGREMONT, MA 01230 USA

9. Additional matters:

SIGNED UNDER THE PENALTIES OF PERJURY, this 9 Day of August, 2019,
EMILY RACHEL IRWIN

(The certificate must be signed by the person forming the LLC.)

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are deemed to have been filed with me on:

August 09, 2019 09:51 AM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, prominent initial "W".

WILLIAM FRANCIS GALVIN

Secretary of the Commonwealth



The Commonwealth of Massachusetts
 Alcoholic Beverages Control Commission
 239 Causeway Street
 Boston, MA 02114
www.mass.gov/abcc

Manager Application

All proposed managers are required to complete a Personal Information Form, and attach a copy of the corporate vote authorizing this action and appointing a manager.

Legal Name of Licensee: Business Name (d/b/a):

Address of Premises:

ABCC License Number: Phone Number of Premises:
 (If existing licensee)

Manager Information:

Name: Cell Phone Number:

Are you a U.S. Citizen: Yes No Court and Date of Naturalization:
 (Submit proof of citizenship and/or naturalization such as Voter's Certificate, Birth Certificate or Naturalization Papers)

List the number of hours per week you will spend on the licensed premises:

Have you ever been charged or convicted of a state, federal or military crime? Yes No
If yes, attach an affidavit as to all charges and disposition.

Do you now, or have you ever, held any direct or indirect, beneficial or financial interest in a license to sell alcoholic beverages? Yes No If yes, please describe:

If additional space is needed, please click here

Have you ever been the Manager of Record of a license to sell alcoholic beverages that has been suspended, revoked or cancelled? Yes No If yes, please describe:

If additional space is needed, please click here

Please list your employment for the past ten years (Dates, Position, Employer, Address and Telephone):

If additional space is needed, please click here

I herby swear under the pains and penalties of perjury that the information I have provided in this application is true and accurate:

Signature: 

Date:

CORPORATE VOTE

The Board of Directors or LLC Managers of Entity Name

duly voted to apply to the Licensing Authority of and the City/Town

Commonwealth of Massachusetts Alcoholic Beverages Control Commission on Date of Meeting

For the following transactions (Check all that apply):

- | | | | |
|--|---|---|---|
| <input checked="" type="checkbox"/> New License | <input type="checkbox"/> Change of Location | <input type="checkbox"/> Change of Class (i.e. Annual / Seasonal) | <input type="checkbox"/> Change Corporate Structure (i.e. Corp / LLC) |
| <input type="checkbox"/> Transfer of License | <input type="checkbox"/> Alteration of Licensed Premises | <input type="checkbox"/> Change of License Type (i.e. club / restaurant) | <input type="checkbox"/> Pledge of Collateral (i.e. License/Stock) |
| <input type="checkbox"/> Change of Manager | <input type="checkbox"/> Change Corporate Name | <input type="checkbox"/> Change of Category (i.e. All Alcohol/Wine, Malt) | <input type="checkbox"/> Management/Operating Agreement |
| <input type="checkbox"/> Change of Officers/
Directors/LLC Managers | <input type="checkbox"/> Change of Ownership Interest
(LLC Members/ LLP Partners,
Trustees) | <input type="checkbox"/> Issuance/Transfer of Stock/New Stockholder | <input type="checkbox"/> Change of Hours |
| | | <input type="checkbox"/> Other <input type="text"/> | <input type="checkbox"/> Change of DBA |


"VOTED: To authorize Name of Person

to sign the application submitted and to execute on the Entity's behalf, any necessary papers and do all things required to have the application granted."

"VOTED: To appoint Name of Liquor License Manager

as its manager of record, and hereby grant him or her with full authority and control of the premises described in the license and authority and control of the conduct of all business therein as the licensee itself could in any way have and exercise if it were a natural person residing in the Commonwealth of Massachusetts."

A true copy attest


Corporate Officer / LLC Manager Signature

WILLIAM J. PAUL
(Print Name)

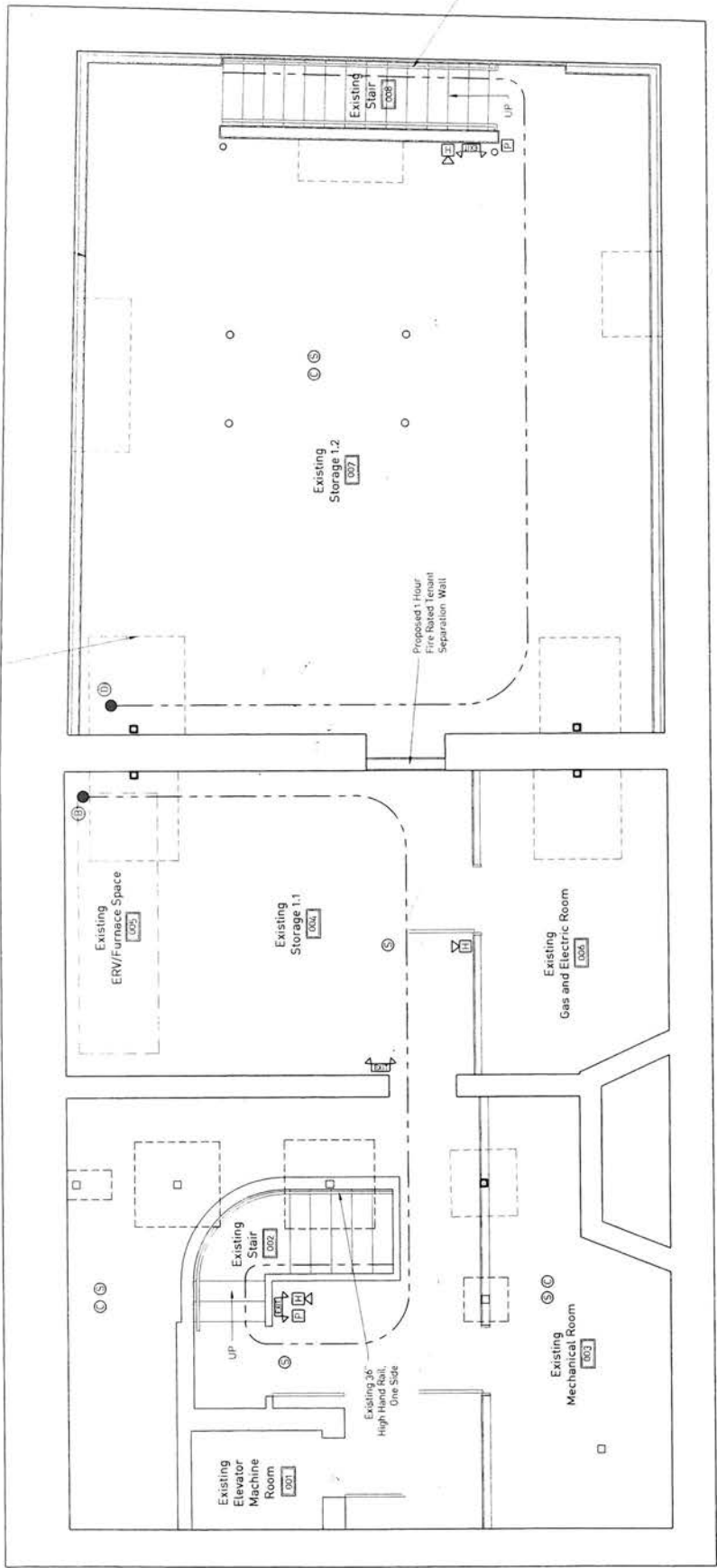
For Corporations ONLY

A true copy attest,

Corporation Clerk's Signature

(Print Name)

Existing Insulated 7/8" Stud Walls,
w/ Proprietary GWP and 1" or
Fiberglass or Hoop Code Wall
Surface Compliance



Existing 1" spaced Fudim 3p

Existing 36" High Hand Rails,
Each Side

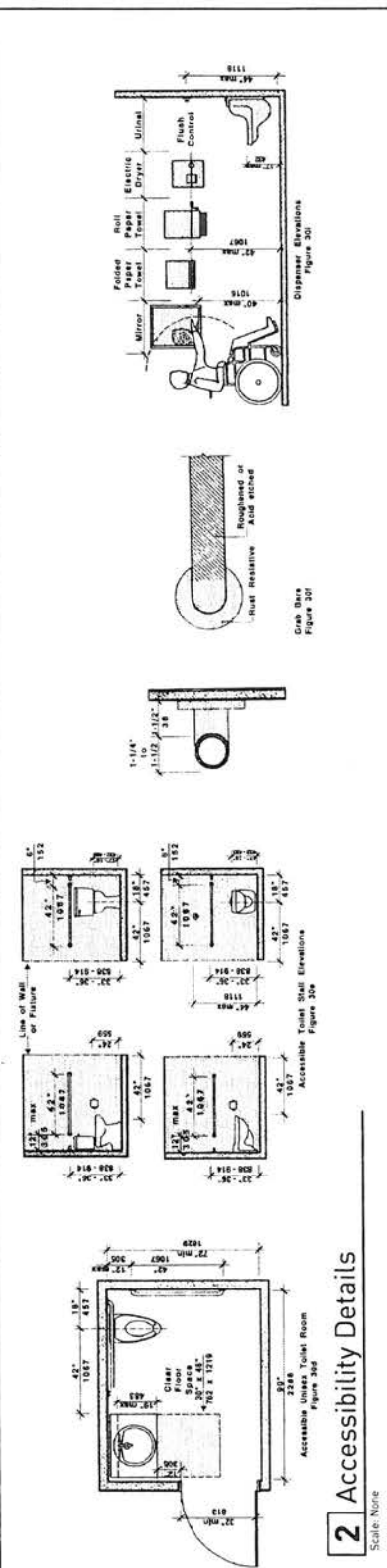
- Life Safety Le**
- Emergency Light
 - Exit Sign
 - Exit Sign / Emergency
 - Pull Station
 - Horn-Stroke
 - Strobe
 - Smoke Detector
 - Carbon Monoxide Det

1 Basement Key Plan

Scale: 3/8" = 1'-0"

3 1 Hour Fire Partition Detail

Scale: None



2 Accessibility Details

Scale: None

UL U311

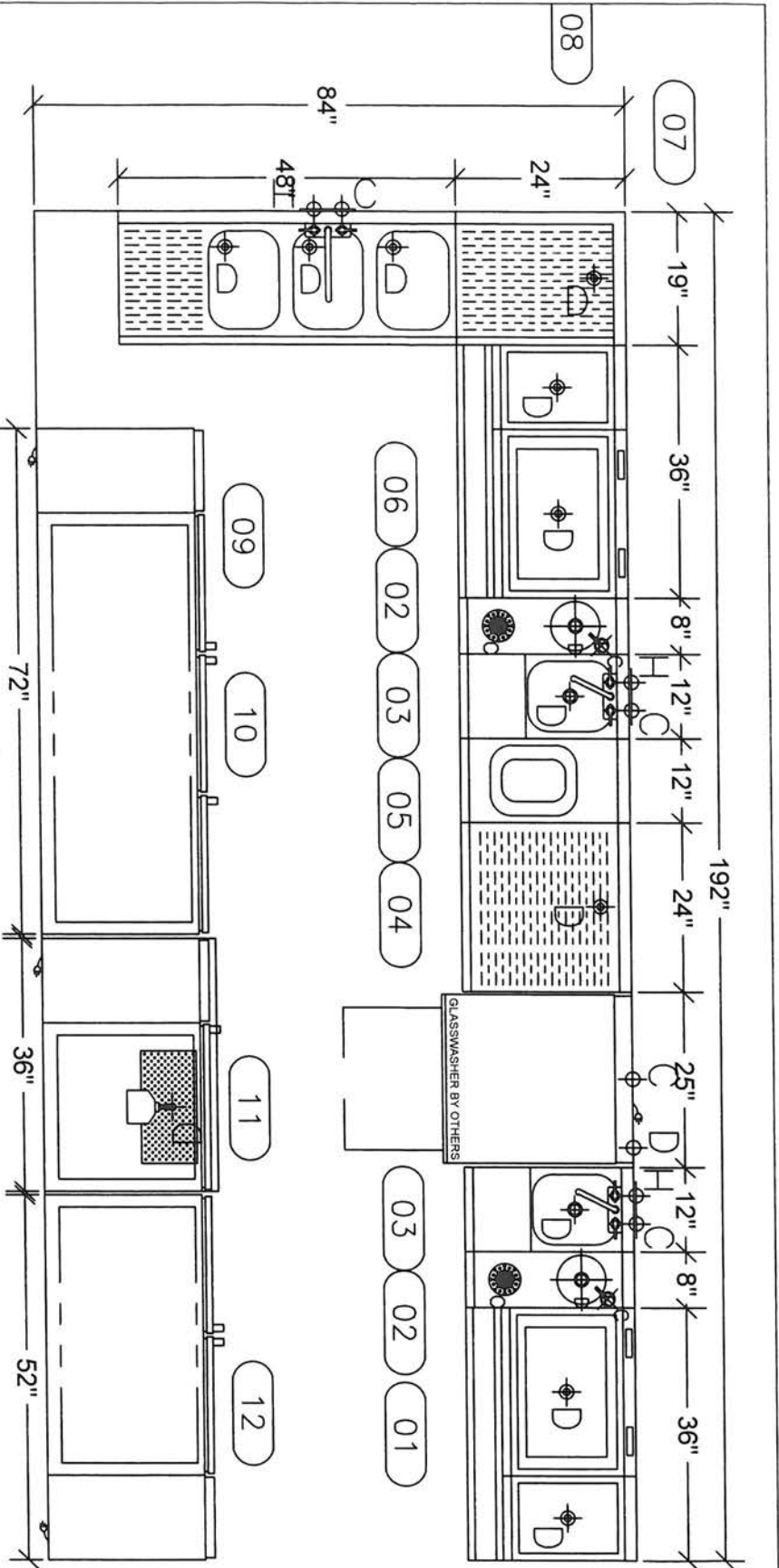
Interior Partitions: Wood Stud (Load-bearing)

Fire Rating	1 hour
STC	52
Sound Test	SA 630/02
System Thickness	5 1/4"

Assembly Options

- Gypsum Board - 5/8 in. thick gypsum board applied horizontally or vertically
- USG Sheetrock® Brand Fireboard® C Panels - 3/4" ULK, Type C1
- USG Sheetrock® Brand Fireboard® Panels - 3/4" ULK, Type C1
- Resilient Channel - 25 ga. furring channels installed horizontally spaced 24"
- Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC
- Batts and Blankets - Min. 3 in. thick mineral wool batt or fiberglass insulate
- Gypsum Board - 5/8 in. thick gypsum board applied horizontally or vertically
- USG Sheetrock® Brand Fireboard® Panels - 3/4" ULK, Type C1
- USG Sheetrock® Brand Fireboard® Panels - 3/4" ULK, Type C1

Stud size is minimum unless otherwise stated in design.
For the most up-to-date information refer to the UL Fire Resistance directory.



EQUIPMENT SCHEDULE

Item No	Qty	Model Number	Equipment Category	Equipment Remarks
01	1	KR18-M36L-10	Underbar Comb. Ice Bin	RS-36
02	2	KR18-MD8	Underbar Mixology Sink	
03	2	KR18-MC12	Underbar Mixology Sink	
04	1	KR18-GS81	Underbar Glass Rack	
05	1	KR18-T12	Underbar Dry Waste	
06	1	KR18-M36R-10	Underbar Comb. Ice Bin	
07	1	KR18-C24R	Underbar Filters & Drainboards	
08	1	KR18-43R	Underbar Sink	
09	1	KR18-32L	Underbar Sink	RS-36
10	1	NS72R	Back Bar Cooler	
11	1	DB36R	Dispenser, Beer	
12	1	NS52L	Back Bar Cooler	



We Raise The Bar!

Krowne Metal Corp
 100 Haul Road
 Wayne, NJ 07470
 800-631-0442
 www.krowne.com

PROJECT:
 47 RAILROAD ST

ROYAL SERIES
 1800 2100
 STANDARD SERIES
 1800 2100

DEALER:
B&G

SCALE: 3/8" = 1'-0"
 DATE: 07.22.2019

JOB #:

1 OF 1

Bruce Firger, Assessor
John Katz, Assessor

Shaun McHugh, Principal Assessor
E-mail: smchugh@townofgb.org

Carol Strommer
Administrative Assessor
E-mail: cstrommer@townofgb.org



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-2220 x 5
Fax: (413) 528-1026

TOWN OF GREAT BARRINGTON MASSACHUSETTS

ASSESSORS' OFFICE

September 19, 2019

IMMEDIATE ABUTTERS TO PROPERTY OF: 47 RAILROAD LLC
47 Railroad Street, Map 19 Lots 76, 75, 52A
Book 2352 Page 1 and Book 2408 Page 27

<u>MAP</u>	<u>LOT</u>	<u>ABUTTER</u>
19	77	Grantville Properties MA LLC, PO Box 26, Norfolk, CT 06058-0026
19	87	20 Castle Street LLC, 390 Main St. #2, Gt. Barrington, MA 01230-1805
19	85	Inhabitants of the Town of Great Barrington, 334 Main St. Rm. 208, Gt. Barrington, MA 01230-1832

The above list of immediate abutters to the subject property
is correct according to the latest records of this office.

Sincerely,


Shaun McHugh
Principal Assessor

*Mailed by Cert. Mail
Ret. Rec. - Reg. 10/6/19*